



**NOTIFICATION TO ATTEND MEETING OF THE NORTH CENTRAL AREA COMMITTEE
TO BE HELD IN THE BY REMOTE VIDEO CONFERENCING VIA - ZOOM
ON MONDAY 20 NOVEMBER 2023 AT 2.00 PM**

AGENDA

MONDAY 20 NOVEMBER 2023

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Avenue.

Report and map attached herewith. **Lynda Drysdale**

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5 MOTIONS

- a Motion in the name of Councillor Tom Brabazon

That this North Central Area Committee calls upon the Chief Executive, to assist businesses on Main Street, Belmayne in every way (not limited to compensation) for the disastrous down turn in business caused by the prolonged construction works on the bus gate at that location and further calls on him to arrange that the Main Street is opened without further delay and that parking is made available to residents.

- b Motion in the name of Councillor John Lyons

That this area committee believes that the proposed location for the new playground in Kilmore West is inappropriate and therefore calls on the council to engage with the community and interested local public representatives in agreeing a new, more suitable location.

- c Motion in the name of Councillor John Lyons

Recognising that the proposal from Dublin City Council and the Land Development Agency to residentially develop the underpass site at Northside is ill-conceived and likely to have a detrimental impact on the quality of life of the future residents of the development as well as the community, this area committee calls for the plans to be scrapped and community consultation to be initiated to establish alternative proposals for the future uses of this site that could benefit and enhance the quality of life for the entire community.

- d Motion in the name of Councillor Declan Flanagan

That this North Central Area Committee affirms its support for the

residents of the Electoral Divisions of Clontarf East A, Clontarf East E, Clontarf West A, Harmonstown A and Harmonstown B, who have concerns regarding the current proposals for the Gracefield Road to Vernon Avenue Walking and Cycling Scheme and calls for Jacobs, who are providing engineering services for the scheme and Dublin City Council to directly engage, face to face, with members of the public prior to finalisation of the detailed design stage.

e Motion in the name of Councillor Deirdre Heney

That this North Central area committee examine the possibility of installing a suitable form of public lighting/improved suitable public lighting along pathway(s) in Fairview Park, to enable commuters to continue to use the park on the way to and from work during winter months.

f Motion in the name of Councillors Donna Cooney & Alison Gilliland

That this North Central area committee seek to find a temporary location as a replacement farmers market due to the closure of the Honest2Goodness Saturday market in the Glasnevin industrial estate in January, we need more direct selling of food from farmers for climate action and food security and EU field to fork implementation.

g Motion in the name of Councillor Donna Cooney

That this North Central area committee agrees to place bike stands close to the boat launch on Clontarf promenade, at the pitches St. Anne's park and more generally in St. Anne's park and on site at Carton Hall Marino.

h Motion in the name of Councillor Donna Cooney

That this North Central area committee agrees that we are waiting too long for action on restoring the historic iconic shelters on Clontarf promenade.

i Motion in the name of Councillor John Lyons

That this North Central area committee reaffirms its commitment to the delivery of a new full-sized all weather football facility in the Coolock-Artane area, a commitment first given in October 2021 when we passed a motion calling for such a facility in the area, and calls on the city council to refocus and re-energise itself toward the delivery of this desperately needed, much deserved and long-overdue sporting facility for the community.

j Motion in the name of Councillor Catherine Stocker

That this North Central area committee recognises the need for a crossing guard to serve the Killester Raheny Clontarf Educate Together National School on Collins Avenue East and asks that the manager review the decision not to provide this resource. The school's Board of Management have been in touch to ask for this decision to be reversed. This is a growing school in a busy urban retail area and it goes against measures to encourage active travel to school not to provide a crossing guard. This

specific location has been raised on numerous occasions at the North Central Area Committee due to traffic and parking safety issues and increased Garda and parking enforcement measures have been requested following these discussions but have not improved the situation.

k Motion in the name of Councillor Catherine Stocker

That this North Central area committee commits to a full review of and management plan for traffic and parking issues on Mount Prospect Avenue, Dublin 3 across from the Red Stables, with input from traffic and transport, the Gardaí, the parks department of the council and Dublin Bus. While residents appreciate their proximity to the park, nonetheless the situation regarding parking at busy times and traffic issues is unsustainable. At present the parking is managed through Garda intervention and physical obstacles (cones, rocks etc.) but nonetheless residents' driveways are frequently blocked. The traffic issues are such that the 130 bus which is the only bus serving the area is frequently forced to divert leaving people waiting at bus stops. In addition to this, the combined parking and traffic issues are a hazard for accessibility of emergency vehicles.

l Motion in the name of Councillor Catherine Stocker

That this North Central area committee asks the manager to examine the junction at Copeland Avenue and the Howth Road as a matter of urgency and introduce measures to increase crossing safety including, in the short term, altering the light sequence to allow for time for pedestrians to cross and in the medium term providing an official zebra or pedestrian crossing. At present many residents have raised the issue to there being no means of crossing safely across the Howth Road intersection with Copeland Avenue as the lights are sequenced to allow cars at all times and traffic is significant. I have attached a photo indicating the location/issue.

m Motion in the name of Councillor Catherine Stocker

That this North Central Area Committee directs the manager to undertake a monthly written leaflet update to the residents of Castlecourt and Auburn where recent flooding occurred. Residents currently feel communication from the council is insufficient and there is no consistent clear communication reliably disseminated to all residents.

n Motion in the name of Councillor John Lyons

That this North Central area committee supports the annual Sensory Garden Santa event which provides a fun and festive experience in Edenmore for children with various disabilities and additional needs and calls on the city council to support the wonderful event in every way that it can.

o Motion in the name of Councillor Alison Gilliland

That this North Central area committee notes the significant slip hazard that wet autumn leave pose for all pedestrians but particularly our more senior residents and those with mobility issues and the hazard they can

also pose for cyclist when they build up on our cycle lanes. The North Central Area Committee also notes the contribution the leaf mulching project on Griffith Avenue makes to leaf collection and the circular economy and therefore the reduction in potential for accidents and slips as well as providing naturally produced fertilising leaf mulch to local residents groups for use in their community gardens.

Noting the absence of a practice whereby autumn leaves are gathered, litter separated out, mulched collectively and returned as compost across the North Central Area, the North Central Area Committee proposes a leaf collection and composting/mulching pilot scheme be set up for next autumn across a selection of our most heavily tree lined avenues and roads that perhaps could link in with transition year students from local schools as support/extra hands and that would build on the excellent work done already in the area by the Griffith Avenue and District Residents Association.

p Motion in the name of Councillor Deirdre Heney

In relation to cycle path at Griffith Avenue, this North Central Area Committee calls on the manager to say what plans he has to address the problem of the large number of cyclists who continue to cycle on the footpath on a daily basis, (not using the cycle path) as residents complain about the large amount of money that has been paid to put cycle lanes on Griffith Avenue which “nobody uses” according to residents.

q Motion in the name of Councillor Naoise O'Muirí

That this North Central area committee seeks an update on the pilot road closure of Haverty Road and a timeline for decision on a permanent closure.



**MINUTES OF THE NORTH CENTRAL AREA COMMITTEE MEETING
HELD ON MONDAY 16 OCTOBER 2023**

1 Minutes of the North Central Area Committee meeting dated 18th September, 2023.

Order: Agreed.

2 Questions to the Area Managers

Order: Noted.

3 ENVIRONMENT & TRANSPORTATION MATTERS

a Minutes of the TAG meeting dated 26th September, 2023.

Order: Noted.

b Gully Report for noting

Order: Noted.

4 AREA MATTERS

a Leases & Licences - proposed grant of a further Lease of the Clontarf Road Car Park, Dublin 3 to Templeville Developments Limited T/A Westwood Club

Order: Agreed. Recommend to City Council subject to the following proviso at the behest of Cllrs. Cooney, Stocker & O’Muirí:

“That the lease to Westwood Club be reduced to 15 years, starting at 2020 and that the lease should include a stipulation that “traffic management works” be undertaken by the club to prevent danger to pedestrians, cyclists & blocking of bus lanes. Also, that a check for any monies that may be owing to Dublin City Council for rates be confirmed before agreements”.

b Leases & Licences - Proposed grant of a 10 year lease of Unit 2A, Block 19, New Priory, Hole in the Wall Road, Dublin 13 to RGAM Limited t/a Barber Co.

Order: Agreed. Recommend to City Council.

c Leases & Licences - Proposed Licence of lands for the Installation of Telecoms Equipment to Signal Infrastructure Ltd at Foxfield Green, Raheny Dublin 5

Order: Agreed. Recommend to City Council.

d **Naming & Numbering - proposal for additional units at Santry Place, Swords Road, Santry, Dublin 9**

Order: Agreed. Recommend to City Council.

e **Killester Heritage Sign - Report for noting**

Order: Noted. Item to be referred to the Commemorations and Naming Committee.

f **Update on the Belcamp Boundary Wall Project - Part 8 Application**

Order: Agreed. Recommend to City Council.

g **Dublin City Council's Community Climate Action Programme-
presentation**

Order: Noted. Presentation to be recirculated.

h **Community & Informal Adult Education Grants**

Order: Agreed. Recommend to City Council.

i **Update on the Discretionary Budget 2023**

Order: Deferred to the November meeting.

j **Area Managers Reports**

Order: Noted.

k **Housing Supply Report for noting**

Order: Noted.

l **Arts Officer Report**

Order: Noted.

m **Sports & wellbeing Report for noting**

Order: Noted.

5 **MOTIONS - Motion in the name of Cllr. Alison Gilliland (6b deferred from the September meeting)**

That this North Central Area Committee acknowledges the huge benefit to both dogs and their owners of dog specific parks/areas in our parks that are fenced in, have large dog and small dog areas and where they can run off lead and have water services. However, the North Central Area Committee recognises that not all parks within the Artane/Whitehall Ward (e.g. Ellenfield Park) are suitably large enough to incorporate a designated dog park. Therefore to support the expressed desire for a dog park in the Santry/Whitehall area of the ward, that the North Central Area Office liaise with Fingal Co. Co. with a view to establishing a designated dog park in Santry Demesne, a large expansive park area within the Santry area but just outside the DCC administrative area.

Reply

The Parks Service has been in touch with our counterparts with responsibility for Santry Demesne who have advised that Fingal County Council have plans to designate an off leash area in Santry Demesne and will liaise with Parks Users and DCC as part of this process.

Contact: Fergus O'Carroll, Senior Executive Parks Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

Order: Agreed.

a **Motion in the name of Cllr. Jane Horgan Jones**

That this North Central Area Committee agrees that an upgrade and refurbishment be carried out on the Maypark Playground.

Reply

Maypark, Ellenfield and Belcamp are considered to be the last of the older designed playgrounds in the North Central area and it is intended that each will be upgraded in the next few years. Of the three the playground in Belcamp Park is considered the priority for 2024.

Contact: Fergus O'Carroll, Senior Executive Parks Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

Order: Motion fell.

b **Motion in the name of Cllr. Deirdre Heney**

That this North Central Area Committee calls on the Manager to arrange, for health and safety reasons, to have necessary improvement works carried out on facilities at North Bull Island and Dollymount as follows:-

- Steps (especially broken steps at the long shelter) are in need of repair; the bottom 4 steps which are under water at bathing time are particularly dangerous
- Unsafe/dangerous rails
- Regular cleaning of shelters Summer and Winter
- Showers at the long steps shelter

And that he make a statement on the matter.

Reply

As the shelters, steps and handrails are exposed to the tides and winter storms they are regularly inspected, treated for algae, made secure and identified necessary repairs programmed each year. The request for an additional shower can be investigated and if water pressure allows for same, can be included in future works programmes subject of the identification of a suitable budget.

Contact: Fergus O'Carroll, Senior Executive Parks Superintendent
Tel: 222 6625

Email: parks@dublincity.ie

Order: Agreed.

c Motion in the name of Cllr. Deirdre Heney

That this North Central Area Committee calls on the manager to take the necessary steps to have additional toilet facilities provided on North Bull Island and Dollymount, similar to the sustainable “eco” WC facilities provided in Fingal area and that he make a statement on the matter.

Reply

Once the tender returns for the modular building tender have been analysed and the framework established the procurement of additional toilets can proceed as has been discussed.

Contact: Fergus O’Carroll, Senior Executive Parks
Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

d Motion in the name of Cllr. Deirdre Heney

That this North Central Area Committee calls on the manager to make a statement on the **poor water quality** at Dollymount where there were 5 poor readings this year so far; say why nothing has improved and when matters will improve and give a timescale to solve the poor water quality and that he make a statement on the matter to include why a red flag was flown for the best part of August despite the fact that there was poor reading in the month of August.

Reply

A red flag was flown at Dollymount Beach a total of 35 times this year during the bathing season. Rationale for flying the red flag at these times include water quality/pollution, sea condition/waves, wind and weather conditions including visibility and Jellyfish.

Contact: Fergus O’Carroll, Senior Executive Parks
Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

To provide some background, Dublin City Council has two designated bathing waters, namely Sandymount and Dollymount Strands, which we manage in accordance with our regulatory requirements under the Bathing Waters Regulations 2008. Four additional locations are recognised as *other monitored waters* including the North Bull Wall, Half Moon, Shelley Banks and Merrion Strand. Bathing waters are monitored on at least 20 occasions during the bathing season and on a fortnightly basis thereafter, regardless of designation.

A review of 28 investigative and scheduled samples taken at Dollymount

Strand during the 2023 bathing season identified 2 *Poor* results and 25 Good or Excellent results. The two *Poor* results occurred on the 27/07/23 and 01/08/23, resulting in a temporary prohibition raised in consultation with the Health Service Executive.

Given the above information conflicts with that detailed in the Motion, it is believed the motion pertains to the North Bull Wall 'other monitored water'. A full overview of bathing water quality sample results are available on our website [HERE](#).

At the North Bull Wall, 5 *Poor* bathing water results were recorded in July 2023. A month recorded by Met Éireann as the wettest on record, recording above average rainfall at every weather station in the country. Furthermore, Met Éireann issued 5 separate rain and thunderstorm warnings for Dublin during the period. See below table extracted from www.met.ie highlighting elevated volume of rain experienced in Dublin in July 2023.

Adverse weather, specifically intense rainfall events have a significant negative effect on bathing water quality. This is due to a variety of contributing factors, however in an urban environment, it is primarily linked to increased storm water runoff from hardstanding areas/roads to waters and the activation of storm water overflows (SWO's).

The Protection of Water Bodies Office has initiated a number of nature based solution/SUDS projects, which utilise green infrastructure to capture, attenuation and treat storm water runoff. Examples of SUDS include permeable paving, rain gardens and wetlands, which not only provide much needed treatment, but also amenity and biodiversity value. Further information on DCC's upcoming projects can be found [here](#). Uisce Éireann is the sanitary authority responsible for the management of waste water in Ireland operating under license from the Environmental Protection Agency.

It should be noted that improving bathing water quality at the North Bull Wall is an ongoing task, and due to a number of complex contributing factors, there is no *quick fix*. Nonetheless, DCC is committed to improving surface and bathing water quality throughout its catchments, and as such continues to prioritise operational activities which target pollution including misconnection inspections, responding to pollution incidents and investigating unauthorised discharges.

Finally, a red flag can be raised at a bathing location for a variety of reasons, not limited to poor water quality. As noted above the water quality at Dollymount was Good to Excellent from all samples taken after the first of August 2023. Bathers are encouraged to discuss raised flags directly with the lifeguard on duty, as the raising of flags is managed by them and a red flag is to indicate *Danger – No Swimming*. Bathers are also encouraged to adhere to the safety advice provided. Any further queries pertaining to lifeguard management should be directed to the Parks Department.

Contact: Emma Finlay, A/Senior Executive Engineer, Water
Pollution Control, Protection of Water Bodies Office
Tel: 222 2402
Email: emma.finlay@dublincity.ie

Total rainfall in millimetres for PHOENIX PARK

Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
2023	42.4	12.2	121.3	76.4	27.9	50.9	149.1	109.4	105.7
2022	16.7	91.9	41.4	37.9	55.9	56.1	38.1	14.4	128.7
2021	115.6	61.7	34.2	16.2	96.9	14.2	83.6	51.2	33.4
2020	39.6	141.5	30.7	13.6	8.3	68.9	100.7	89.3	56.3
LTA	65.3	51.3	54.0	52.7	61.4	69.1	54.9	73.1	60.0

Order: Agreed.

e Motion in the name of Cllr. Tom Brabazon

That this North Central Area Committee calls upon the manager to open the public toilets at Fr Collins Park.

Reply

The toilet block in Fr. Collin's Park was taken out of service due to serious and repeated vandalism. While repairs have been carried out to the block there remains a significant issue with the water supply. There is a leak in the system which it is hoped can be tracked down and repaired in the coming weeks. Once the water supply to the toilet block is restored it is intended that the toilets can be first made available during community events or similar when there is adequate supervision of the facility in place. There are no proposals to open the toilets on full time basis at this time due to anti-social behaviour concerns. It is intended to go to the market in late 2023 or early 2024 to ascertain if there is interest in the provision of a coffee cart at this location that could provide supervision and servicing of this facility which would allow the toilets to be available on an ongoing basis for next summer similar to the arrangement in Fairview Park.

Contact: Fergus O'Carroll, Senior Executive Parks Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

Order: Agreed. Seconded by Cllr. Barron.

f Motion in the name of Cllr. Tom Brabazon

That this North Central Area Committee agrees to rename the R139 or N32 between the Malahide road and the M1 to the Kathleen Mills Road.

Reply

The manager has requested legislation and advice on this process in writing. The Law Agent informs us that there is new and updated

legislation and the regulations for the enactment of these are yet to be enacted. We will update all Councillors once we have received the memo.

Contact: Derek Farrell Acting Local Area Manager
Tel: 222 8546
Email: derek.farrell@dublincity.ie

Order: Agreed. Seconded by Cllr. Barron – to be referred to the Commemorative Naming Committee

g Motion in the name of Cllr. Tom Brabazon

That this North Central Area Committee calls on the council to take in charge without delay the roads and services of the road which leads from the Malahide Road at Churchwell Gardens down to the Hole in the Wall Road to enable implementation of preventative measures for undesired parking which is dangerous to road users.

Reply

The North Central Area Office are co-ordinating efforts to regularise the taking in charge of some of the main streets in Belmayne: Belmayne Main Street, Belmayne Avenue, Parkside Boulevard and two sections of Greenway.

If financially viable a taking in charge process may be progressed by declaring the roads to be public roads under Section 11 of the Roads Act 1993, which is a reserved function rather than the regular taking in charge process, whereby the Developer applies to the Local Authority, Planning and Development Taking in Charge Section.

Following an extensive survey of the Belmayne area, a map of the roads there that are proposed to be declared public has been finalised. This map for declaration of public roads proposal has been circulated to internal sections of DCC requesting them to submit their queries and observations.

This internal consultation process is currently ongoing.

Contact: Deirdre Murphy, Administrative Officer
Tel: 222 8845
Email: deirdre_a.murphy@dublincity.ie

Order: Agreed. Seconded by Cllr. MacDonncha

h Motion in the name of Cllr. Alison Gilliland

That this North Central Area Committee notes the granting of planning permission for the development of 853 housing units, green spaces, retail units, crèche and community space on the Oscar Traynor lands and the impending commencement on site in November. The North Central Area Committee also notes that commencement of the contract with Glenveagh activates the €7m local investment fund. The North Central Area Committee also acknowledges two other housing developments in the area, Cromcastle Underpass under the auspices of the LDA and the DCC

Cromcastle Court redevelopment that will both deliver local community spaces. Therefore, to ensure that the local investment fund will deliver maximum local impact and deliver for local community needs, and that the various community spaces coming on stream across the three developments will be appropriately kitted out and effectively and democratically used/managed a working committee be established by the North Central Area Office to guide and manage the allocation of the fund.

Reply

The area office are working on developing a consultation process with the residents of Kilmore West, Lorcan, Castletimon, Aulden Grange and Woodlawn to work out what facilities are in place, what facilities are needed by residents, what sports and recreation the residents and their children are interested in, what type of activities the residents would like to volunteer for among other things. Once this consultation process has been carried out the Area Office will set up an oversight group to work on developing the wants and needs of the Communities.

Contact: Derek Farrell, Acting Local Area Manager
Tel: 222 8546
Email: derek.farrell@dublincity.ie

Order: Agreed. Seconded by Cllrs. MacDonncha & Batten.

i Motion in the name of Cllr. Deirdre Heney

That this North Central Area Committee agrees that the manager gives an update on the promised playground for McAuley Park, Artane as the area has experienced a massive generational shift, with children, families and even grandparents being left with little public amenities in the area.

Reply

The tenders for the proposed playgrounds at Harmonstown and Kilmore West have been received and assessed. The tenderers have been contacted and advised of the results of the assessment. At the end of the 2 week statutory standstill period the preferred tenderer will be appointed and local consultations can commence. Once these have been completed a timeframe for delivery can be agreed.

Contact: Fergus O'Carroll, Senior Executive Parks Superintendent
Tel: 222 6625
Email: parks@dublincity.ie

Order: Agreed.

j Motion in the name of Cllr. Donna Cooney

That this North Central Area Committee agrees to trial planters and seating made from recycled plastic as replacements to the unsightly sandbags on the Clontarf promenade until the final flood defences are in place" examples attached as seen in Vienna.

Reply

The Environmental Protection Division is examining alternative solutions to the existing sandbags and will issue a report to the NCAC and the Clontarf Working Group once the report is finalised.

Contact: James Nolan, Executive Manager
Tel: 222 4858
Email: james.nolan@dublincity.ie

Order: Agreed.

k Motion in the name of Cllr. Donna Cooney

That this North Central Area Committee agrees the pavements on Hollybrook Grove Clontarf are in a terrible state and need to be resurfaced and a temporary tarmac area which is sinking is replaced and a **suitable tree planted** there, the trees also need larger pits and can that be provided as park or the resurfaced pavements, could the double yellow lines be extended and the pavements of the right when entering from Clontarf road (which are very narrow) be widened” please find photos attached.

Reply

An enquiry (ref. 11144977) has been created & forwarded to the Area Inspector to inspect both the carriageways & footpaths.

Contact: Ronan Connolly, Acting Senior Executive Engineer, RMS
Email: ronan.connolly@dublincity.ie

A minimum road width of 6.5m is required for double side parking; the average width along Strandville Avenue East (entering from Clontarf Road) is 7.4m there is sufficient space for vehicles to get access this road.

There are double yellow lines located to allow staggered vehicular parking combined with the parking restriction acts as a traffic calming measures by physically narrowing the width of the carriageway.

Further restrictions on this section of the road would lead to increased vehicular speeds whereas parking tends to have a calming effect helping to slow down traffic in accordance with Design Manual for Urban Roads and Streets guidelines.

Considering the above, extension of the double yellow lines are not recommended.

Contact: Gerry McEntagart – North City Executive Engineer
Email: gerald.mcentagart@dublincity.ie

The trees at Holbrook Road will be inspected in the coming weeks and any works determined to be necessary will be added to the prioritised list of works for the area.

Contact; Sean Ray, Parks Administration
Email: parks@dublincity.ie

Order: Agreed.

Councillor Daryl Barron
Chairperson
Monday 16 October 2023

Attendance:

Members:

Daryl Barron (Chairperson)
Dearbháil Butler
Catherine Stocker
Tom Brabazon
John Lyons
Damian O'Farrell
Alison Gilliland

Members:

Patricia Roe
Terence Flanagan
Deirdre Heney
Micheál MacDonncha
Larry O'Toole

Members:

Donna Cooney
Racheal Batten
Jane Horgan Jones
Naoise Ó Muirí
Declan Flanagan

Officers

Bruce Philips, Mick Kelly, Derek Farrell, Fiona Moore, Catherine Cahill, Fergus O'Carroll, Jeremiah Moore, Gerry McEntagart, Catalin Rosca, Patrick Smith, Gillian Corcoran, Bláthnaid Conlon, Adam Kelly, Niamh Reilly, Lynda Drysdale, Deirdre Murphy, Nicky Finegan, Dean Eaton, Kelly Hickey, Ronan Connolly, Roy O'Connor, Emma Finlay, Sinead French, Charles Duggan, Marie Gavin.

DUBLIN CITY COUNCIL
NORTH CENTRAL AREA COMMITTEE
20th November, 2023

Q.1 Question in the name of Councillor John Lyons

“To ask the Manager to request the erection of "GO SLOW - CHILDREN AT PLAY" signs along Ferrycarrig Avenue, Dublin 17”.

Q.2 Question in the name of Councillor Larry O’Toole

“To ask the Manager to give an update on **(details supplied)** housing applicants current status on the list”

Q.3 Question in the name of Councillor Larry O’Toole

“To ask the Manager to Indicate when a front door ramp will be installed at **(details supplied)** for this wheelchair bound applicant”

Q.4 Question in the name of Councillor Larry O’Toole

“To ask the Manager can an inspection be carried out on the windows of **(details supplied)**. The tenant informs me that the frames are swelling and some of the windows won’t close”

Q.5 Question in the name of Councillor John Lyons

“To ask the Manager for an update on the proposed development of the former council depot site on Collins Avenue. The update should include the current designs and information regarding any changes that have been made since the designs were first presented to the councillors in July and feedback from the local consultation that took place on September 26th”

Q.6 Question in the name of Councillor Larry O’Toole

Withdrawn duplicate of Q3

Q.7 Question in the name of Councillor Larry O’Toole

Withdrawn duplicate of Q7

Q.8 Question in the name of Councillor Larry O’Toole

“To ask the manager to respond to this housing transfer request at **(details supplied)**”

Q.9 Question in the name of Councillor Larry O'Toole

“To ask the manager to respond to the following housing maintenance query at **(details supplied)**”

Q.10 Question in the name of Councillor Larry O'Toole

“To ask the manager to respond to the low water pressure issue at **(details supplied)**”

Q.11 Question in the name of Councillor Larry O'Toole

“To ask the manager to respond to the following housing list query at **(details supplied)**”

Q.12 Question in the name of Councillor Larry O'Toole

“To ask the manager to respond to tree trip query at **(details supplied)**”

Q.13 Question in the name of Councillor Jane Horgan Jones

“To ask the Manager the following question regarding the anti-social behaviour issue in the evenings in All Saints Park:

Can some consideration be given to whether the gates into this park can/should be locked at a certain point in the evening e.g. after nightfall? Locals would be willing to take this responsibility on and lock it in the evening and unlock it again in the morning, or a DCC official could also do this. It is felt that access to the park after dark is encouraging anti-social behaviour in the area”

Q.14 Question in the name of Councillor Alison Gilliland

“To ask the Manager to outline any plans in the short or medium term to revamp Belcamp Park in particular i) paint and clean-up of the Pavilion and Office of Dean Swift Building ii) increase the number of benches throughout the park particularly for those more senior users who need regular rest intervals when using the park, iii) putting up some signage to identify the park as Belcamp Park, directional signage to the pitch and putt and the children's playground etc. and iv) flowers in the flower bed.

Q.15 Question in the name of Councillor Jane Horgan Jones

“To ask the Manager could the area office establish if any of the ornate lampposts along Fairview Strand are to be saved and not replaced by modern replacements as part of the ongoing road works? It seems such a loss of our architectural heritage.

Q.16 Question in the name of Councillor John Lyons

“To ask the Manager requesting a date for the activation of recently installed traffic lights on Brookwood Avenue/Gracefield Road”

Q.17 Question in the name of Councillor Larry O’Toole

“To ask the Manager to respond to this housing query of **(details supplied)**”

Q.18 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to give a guide on how and when people can express an interest in purchasing homes on Oscar Traynor development and advise the estimated time frame for phase one to be completed”

Q.19 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to provide a full report on the work that has been carried out and established plans, with timelines for sporting facilities in the Artane/Whitehall area. In particular all weather pitches to support local football clubs”

Q.20 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to include Rockfield Park when planting new trees this year”

Q.21 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to correct the footpath on the Ardlea Road which has an image indented into the concrete”

Q.22 Question in the name of Councillor Dearbháil Butler

“To ask the Manager for an update on my question from July 2023 and if he can advise if the footpath has been inspected and an estimated time of expected works to prepare the footpath as it’s a trip hazard there”

Q.23 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to remark the parking spaces at the taxi rank outside Dunne’s Stores on Barryscourt Road”

Q.24 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Traffic Survey at **(details supplied)** and if he will make a statement on the matter”

Q.25 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding public lighting & parking **(details supplied)** and if he will make a statement on the matter”

Q.26 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Traffic Lights **(details supplied)** and if he will make a statement on the matter”

Q.27 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Football clubs at **(details supplied)** and if he will make a statement on the matter”

Q.28 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Traffic at **(details supplied)** and if he will provide a report on the matter”

Q.29 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Roundabout at **(details supplied)** and if he will make a statement on the matter”

Q.30 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding Housing at **(details supplied)** and if he will make a statement on the matter”

Q.31 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding parks at **(details supplied)** and if he will make a statement on the matter.”

Q.32 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding tree survey at **(details supplied)** and if he will make a statement on the matter”

Q.33 Question in the name of Councillor Declan Flanagan

“To ask the Manager to respond to the following regarding playgrounds at **(details supplied)** and if he will make a statement on the matter.”

Q.34 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding Traffic Survey **(details supplied)** and if he will make a statement on the matter”

Q.35 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding Traffic at **(details supplied)** and if he will make a statement on the matter”

Q.36 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding trees at **(details supplied)** and if he will make a statement on the matter.”

Q.37 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding laneways at **(details supplied)** and if he will make a statement on the matter.”

Q.38 Question in the name of Councillor Terence Flanagan

“To ask the Manager to list and respond to the following regarding meetings at **(details supplied)** and if he will make a statement on the matter.”

Q.39 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding electricity at **(details supplied)** and if he will make a statement on the matter.”

Q.40 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding a park at **(details supplied)** and if he will make a statement on the matter.”

Q.41 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding trees **(details supplied)** and if he will make a statement on the matter.”

Q.42 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding a tree **(details supplied)** and if he will make a statement on the matter.”

Q.43 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding illegal parking at **(details supplied)** and if he will make a statement on the matter.”

Q.44 Question in the name of Councillor Terence Flanagan

“To ask the Manager to respond to the following regarding tree stump at **(details supplied)** and if he will make a statement on the matter.”

Q.45 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Council will prune the tree outside a house at **(details supplied)?**”

Q.46 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Council will fix the footpath at **(details supplied)?**”

Q.47 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Council will fix the road at **(details supplied)?**”

Q.48 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Council will fix the broken kerb in the centre island at **(details supplied)?**”

Q.49 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Council will consider installing a bench in the green at Foxfield Park for elderly people in the area?”

Q.50 Question in the name of Councillor Patricia Roe

“To ask the Manager if repairs could be carried out to footpaths along Shanliss Ave, Santry. I note that footpaths on adjoining roads are included in the Works Programme 2023 for the North Central area, would it be possible to add areas along Shanliss Ave footpath while other works are being carried out? Failing that, could footpaths on this road be included in the 2024 Works Programme? ”

Q.51 Question in the name of Councillor Patricia Roe

“To ask the Manager if a No Dumping sign could be erected on the grass verge outside **(details supplied)**. The elderly resident living at this address reports serial dumping of garden waste mainly but often including domestic waste at this site, which is located on a wide grass verge at T-junction”

Q.52 Question in the name of Councillor Patricia Roe

“To ask the Manager to have the Traffic Dept carry out a full traffic survey on Crestfield Park. A public meeting yesterday residents outlined the problems being created by the use of the estate for parking by DCU students and patrons, the chaotic parking blocking driveways by patrons of football pitches at St Aidans CBS and other users of the school facilities in the evenings and the imminent closing of the staff carpark in St Aidans due to extensive building works. I have previously raised these issues with both Santry community Gardai and Parking Enforcement. It would also be helpful if the traffic manager could outline to residents what are the options available to them. ”

Q.53 Question in the name of Councillor Patricia Roe

“To ask the Manager to advise if the holding of Poker Tournaments at **(details supplied)** is in compliance with the Gaming Act 2023? In respect of the same premises where another 10 day Poker tournament is planned for February 29th to March 10th so could the Manager please advise if an event of 11 days requires special planning permission? Thirdly, if the running of the above events are subject to licence, does the granting of the licence include the requirement to provide parking for patrons? As the Manager will be aware, the hotel no longer has a carpark, therefore causing patrons to find parking wherever they can, most frequently in the adjoining small residential estate. ”

Q.54 Question in the name of Councillor Patricia Roe

“To ask the Manager if the Road Maintenance Services Works Programme 2023 presented to us by Roads Maintenance Department can be reviewed (see attached) As can be seen from this document which was circulated to all North Central councillors **(details supplied)** was included on the schedule. I am now informed by the current Senior Engineer that this road has been omitted from the list. As the List of Works is costed when presented to us, could I see what savings have been made by its omission and get a guarantee that it is included in the programme of Works 2024? ”

Q.55 Question in the name of Councillor Deirdre Heney

“To ask the Manager to examine **(details supplied)** and

- a) arrange to prune tree adjacent to side of number 17 where tree has grown through utility wires and is affecting service; tree is in park under control of Parks Dept
- b) Arrange to prune roadside trees, some of which are enormous and totally overshadow these 3 storey houses at **(details supplied)**”

Q.56 Question in the name of Councillor Deirdre Heney

“To ask the Manager in relation to roads as per **(details supplied)**, say if consideration can be given to making same one way as requested by residents.”

Q.57 Question in the name of Councillor Deirdre Heney

“To ask the Manager to please refer to shores at **(details supplied)** and arrange to clear same.”

Q.58 Question in the name of Councillor Deirdre Heney

“To ask the Manager arrange to renew the yellow box markings at **(details supplied)**”

Q.59 Question in the name of Councillor Deirdre Heney

“To ask the Manager to arrange to repair/straighten sign at **(details supplied)**”

Q.60 Question in the name of Councillor Deirdre Heney

“To ask the Manager to please, in relation to laneway at **(details supplied)**, arrange to clear same of weeds and debris etc.”

Q.61 Question in the name of Councillor Deirdre Heney

“To ask the Manager in relation to fallen tree at **(details supplied)** please arrange to remove the remainder of same which appears to have been cut up into small sections by Dublin City Council following recent storm. ”

Q.62 Question in the name of Councillor Donna Cooney

“To ask the Manager could the gullies be cleaned and leaves cleared on Kincora grove area.”

Q.63 Question in the name of Councillor Donna Cooney

“To ask the Manager could the Kincora road Clontarf speed issue be reviewed as no measures have been taken since report in 2020 showed consistent speeding.”

Q.64 Question in the name of Councillor Donna Cooney

“To ask the Manager could the issue of cars and vans parking on pavements on Griffith Avenue be addressed?”

Q.65 Question in the name of Councillor Donna Cooney

“To ask the Manager could we have a meeting with active travel team to discuss north central projects?”

Q.66 Question in the name of Councillor John Lyons

“To ask the Manager when **(details supplied)** will be reached with an offer of housing as she has been on our housing list for 13 years and has a very young family.”

Q.67 Question in the name of Councillor Catherine Stocker

“To ask the Manager to add a full carriageway repair of Mount Prospect Avenue adjacent to St Anne’s Park/The Red Stables to the programme of works for 2024. This road has very heavy usage due to the proximity to the busy amenity of St Anne’s Park and is in poor condition. Residents note that partial repairs are undertaken frequently but the condition always deteriorates.”

Q.68 Question in the name of Councillor Catherine Stocker

“To ask the Manager to arrange for the inspection and pruning/crown lifting of the tree outside **(details supplied)** where the branches are intersecting substantially with utility wires which is of concern to the resident.”

Q.69 Question in the name of Councillor Catherine Stocker

“To ask the Manager for a full update on the schedule for planned works for **(details supplied)** where there are markings for footpath repairs in place? The footpaths are in very poor condition and have been significantly damaged by tree roots (see photo attached) and have already led to injury of residents. To ask the manager also to improve the communications from the council to the residents as residents were left notes on their cars indicating they must be moved by a specific date/time to facilitate works with no communications via their letterboxes or any other means.”

Q.70 Question in the name of Councillor Catherine Stocker

“To ask the Manager to consider the removal of the remaining fencing at Fairview Park to open the full park length out to the cycleway/village. Local residents have expressed concern that there are safety issues arising from the green fencing currently in place in terms of someone being able to get away in case of assault. Given how positive the opening of the top stretch of the park has been can it be extended to the entire Fairview side of the park?”

Q.71 Question in the name of Councillor Catherine Stocker

“To ask the Manager if the Council will fix a lifting footpath at a location **((details supplied))** that is causing a trip hazard and damaging a garden wall?”

Q.72 Question in the name of Councillor Catherine Stocker

“To ask the Manager if the trees at a location can be pruned **(details supplied)** – the trees are blocking some of the street lights making the road extremely dark at night.”

Q.73 Question in the name of Councillor Catherine Stocker

“To ask the Manager to provide information on community composting for a specific area **(details supplied)**, specifically where there is community composting in and near this area and the system whereby DCC will collect compost bags.”

Q.74 Question in the name of Councillor John Lyons

“To ask the Manager to request the help of the family support team to engage with **(details supplied)** and their young family who are at risk of homelessness and are in need of as much support as we can provide to help them secure a new home.”

Q.75 Question in the name of Councillor John Lyons

“To ask the Manager to Request a report on the housing file of **(details supplied)**, why her position has changed the way it has over recent times and what housing options she has available to her.”

Q.76 Question in the name of Councillor Alison Gilliland

“To ask the Manager to arrange for the planting of a small flower bed or a couple of trees on the now charred space where a bonfire was lit on the green space at the junction of Maryfield Crescent and the Kilmore Rd as this may prevent the annual bonfires at this spot”

Q.77 Question in the name of Councillor Jane Horgan Jones

“To ask the Manager to arrange for tree trimming in **(details supplied)**, as the height is becoming a hazard as the weather conditions worsen.”

Q.78 Question in the name of Councillor Jane Horgan Jones

“To ask the Manager to get a “children at play” sign installed on **(details supplied)**, as there is an increase in children in the area, and the ramps aren’t doing enough to reduce speed.”

Q.79 Question in the name of Councillor Jane Horgan Jones

“To ask the Manager to install signage indicating the rules of off lead dogs in Edenmore Park”

Q.80 Question in the name of Councillor John Lyons

“To ask the Manager to request a maintenance inspection of the home of **(details supplied)** with a particular focus on the leaking attic roof.”

Q.81 Question in the name of Councillor Deirdre Heney

“To ask the Manager to please refer to housing applicant as per **(details supplied)** who is seeking City Council wheelchair accessible accommodation and advise when it is likely she will be housed”

Q.82 Question in the name of Councillor Deirdre Heney

“To ask the Manager in reference to my previous request for tree pruning on Kilbride Road, Killester, Dublin 3, can the manager in relation to assessment of trees on the road, say

- (a) If this is an annual assessment or one only done on ad hoc basis (e.g.at a resident's request?
- (b) What is meant by the term “crown lifting?”
- (c) If he can advise when it is planned to remove the tree stump on the road
- (d) In relation to the broken tarmac at some of the bases of the trees, if/when he can arrange for repair of same
- (e) if he can assess the poor quality of public lighting on Kilbride Road during night time hours as it seems (by photos provided in a previous response from City Council officials) that the previous assessment was done during the day.

Q.83 Question in the name of Councillor Alison Gilliland

“To ask the Manager to outline progress made with regard to identifying a green area in the Kilmore area that would be suitable for building an astro pitch”

Q.84 Question in the name of Councillor Alison Gilliland

“To ask the Manager to indicate any grant funding or grant funding opportunities either from a national source or a local source that has been made available to sports clubs in the North Central Area either directly for sports and recreation activities or under a social inclusion category for which a sports clubs working with socio-economic disadvantaged children and young people has qualified for”

Q.85 Question in the name of Councillor Alison Gilliland

“To ask the Manager to indicate if there are plans to upgrade or expand the size of the pitch in the stardust park”

Q.86 Question in the name of Councillor Alison Gilliland

“To ask the Manager to indicate if there are plans to build additional caged basketball/football all weather surfaced areas in the general Kilmore/Coolock/Artane area”

Q.87 Question in the name of Councillor Alison Gilliland

“To ask the Manager to indicate if there is the possibility of the central surface carpark in Artane Place being used for a weekend farmer's market so that a pilot market could be encouraged over several months”

Q.88 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager to provide an up-to-date report on discussions between Dublin City Council and AIB in relation to acquiring the plot of land between **(details supplied)** – have terms been agreed?”

Q.89 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager To (a) request an update on the issue relating to Grace Park Rd/Collins Avenue junction as raised with DCC Traffic/ITS via the Area Office on 01/09/2023 (b) confirm why no acknowledgement/response was forthcoming from DCC Traffic/ITS on the matter; I can forward the email correspondence if required

Q.90 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager to provide an update on discussions to regularise arrangements around the cycleway to the front of the Clontarf Baths”

Q.91 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager organise for the footpath outside **(details supplied)** to be levelled and reinstated to good quality”

Q.92 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager organise for the Sheffield bike racks outside of the All Hallows entrance on Grace Park Road to be reinstalled - they were removed for local works and never replaced (see attached picture)”

Q.93 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager can the following matters at **(details supplied)** be considered as part of the tree audit to be undertaken on St. Lawrence Road?”

Q.94 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager In relation to Clonturk Park can the Area Manager respond on the following:

1. The lighting on Clonturk Park is considered to be poor – can it be upgraded to deliver better quality lighting
2. The laneway running parallel to Clonturk Park between it and Church Avenue needs to be cleaned. This was raised by a local resident most recently by phone to DCC on 30/06/2023 (case ref 528106440) but no reply; please provide an update to what happened to this case?
3. Can the Area Manager also confirm date of the most recent effort of lane closure at this location and why it was rejected – from memory it involved Eir requiring access to plant.

Q.95 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager in relation to the welcome implementation of a School Zone outside Drumcondra National School can the Area Manager:

1. Confirm what treatment will be applied to the stretch between the School and Grace Park Road (school side) to maximise visibility and minimise congestion i.e. what replaces the single yellow line proposed previously
2. Ensure 30 kph signs are installed for traffic heading east towards Grace Park Road so they know the applicable speed limit
3. Move the “Stop” sign at the Grace Park Road junction to a more visible/prominent position to with a view to getting maximum adherence
4. Request a traffic survey post-implementation with a view to identifying any further measures required

Q.96 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager In relation to the laneway running parallel to Annadale Drive between it and Griffith Court can the Area Manager:

1. Confirm that the public right of way is now extinguished
2. Clarify if DCC owns title to the laneway as some residents are interested in incorporating the laneway into their gardens

Q.97 Question in the name of Councillor Naoise O’Muirí

“To ask the Manager to organise for Windsor Lane to be put on a regular cleaning schedule.”

Q.98 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to introduce a method that will stop people parking in this space circled in blue which blocks access to the park in the event of emergencies. This mainly happens when football matches are being played and there is a higher volume of cars in the area.”

Q.99 Question in the name of Councillor Dearbháil Butler

“To ask the Manager to add new or paint the road signs on the wall above the EBS on Kilmore Road/Malahide Road as they are completely eligible”

Q.100 Question in the name of Councillor Larry O’Toole

“To ask the Manager to have a thorough clean of the road into **(details supplied)**”



North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
1	7021112	Traffic Calming	MILLBROOK ROAD (NC)	Dublin 13	request more traffic calming measures.	Not Recommended	Recently a speed survey was conducted on Millbrook Road. The resultant 85% percentile speed was found to be 40.7 km/h and have not indicated the presence of speeding vehicles which suggests that the road is compliant with the speed limit. Therefore, the provision of any traffic calming measures is not recommended at this time.	Councillor	16/06/2021	1
2	7026047	TAG General Engineer Query	SEAFIELD ROAD WEST (NC)	Dublin 3	request widen the footpath outside St John the Baptist Belgrove Junior Boys School, Seafield Rd, Clontarf.	Not Recommended	The Transport Advisory Group has no plans to widen the pavement at the aforementioned location nor remove the indented parking bays at this location. The indented parking bays are used as a drop-off/pick-up with the aim to reduce illegal parking in the area. 3 No. indented parking bays allows for disability parking, DCC with the support of National Transport Authority (NTA) proposes to implement Front - of - School civil works at this location to improve the safety of students and vulnerable road users. The school have been advised to apply for a "School Zone", where the aim is to reduce congestion on Seafield Road West, increase safety at the front of school, and prioritise active travel (walking and cycling) to and from the school. Overall visibility for drivers at the approaches to school gates is improved and public space is reallocated to pedestrians and those choosing active travel with the aim to reduce space for cars to park at the school gate.	Member of the Public	13/04/2022	0
3	7031094	Traffic Calming	MARYVILLE ROAD (NC)	Dublin 5	request speed bumps on Maryville Road.	Not Recommended	The aforementioned road requires a speed survey to determine the average speed of vehicles using this road. In addition to the traffic volumes using Maryville Road. Unfortunately the Area Engineer has no budget available for the remainder of 2023 for any recommendations the Area Engineers wishes to carry out for traffic calming on any roads/street within Dublin North Central Area.	Councillor	17/01/2023	0
4	7034916	Double Yellow Lines	CRAIGFORD AVENUE (NC)	Dublin 5	request double yellow lines.	Not Recommended	It is not recommended to install parking restrictions, such as placing double yellow lines where restrictions are already covered under the law. Under The Road Traffic (Traffic & Parking) Regulations, Section 36 paragraph (2); a vehicle shall not be parked: (c) within 5 metres of a road junction; (i) on a footway, a grass margin or a median strip; Instances of illegal parking should be reported to Dublin Street Parking Services, the City Council's parking enforcement contractor (Ph: 01-602 2500 or Email parkingenforcement@dublincity.ie), or to the local Gardaí, as it is a matter for enforcement under the Road Traffic Regulations.	Councillor	06/09/2023	0

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North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
5	7035052	Double Yellow Lines	CASTLE AVENUE (NC)	Dublin 3	Request double yellow lines at exit from laneway at No. 7 for visibility.	Not Recommended	Castle Avenue has on street parking which is effectively acting as traffic calming by physically narrowing the carriageway and reducing drivers forward visibility. Double yellow lines are provided to ensure the smooth flow of traffic and prevent congestion where parking causes congestion which would interfere with traffic flows on a daily basis. No adverse problems with congestion or traffic flow were observed during a site visit. Dublin City Council do not have the resources, nor is it deemed appropriate to install double yellow lines to prevent drivers from parking in front and/or near of individual vehicular entrances as this would lead to a proliferation of same across the city. The installation of double yellow at the mentioned location is not recommended.	Member of the Public	15/09/2023	0
6	7035181	School Warden Crossing Box	CROMCASTLE ROAD (NC)	Dublin 5	on Cromcastle Road close to the junction with Cromcastle Green at St. Lukes Youth Club, where the school Warden works	Recommended	Following investigation, on Cromcastle Road near St Luke's Youth Club, it is recommended to install a School Warden Crossing Patrol Point Marking (M121) at the school warden stand. On Cromcastle Road, on the South side of the carriageway, from a point commencing approx. 16 meters West from West kerb line of Cromcastle Green, install 2.4 meters in a West direction SCHOOL WARDEN CROSSING PATROL POINT (M 121) to extend across both lanes and avoid driveways.	Member of the Public	25/09/2023	0
7	7035239	Speed Ramps	SHANLISS PARK (NC)	Dublin 9	request speed ramps.	Not Recommended	Shanliss Park It is further traffic calmed with an entrance treatment to the cul-de-sac that is short in length which is not conducive to speed and does not meet the criteria for the provision of ramps (it does not have a straight road of more than 200 metres). It is naturally traffic calmed with the provision of on-street parking, which reduces the carriageway width for motorists and increases driver caution. Therefore, further measures such as ramps are not recommended at this location.	Councillor	27/09/2023	0
8	7035241	Speed Ramps	SHANLISS ROAD (NC)	Dublin 9	Speed ramps to prevent dangerous driving near Shanliss Park.	Not Recommended	Shanliss Road is on a bus route, speed cushions rather than ramps have been provided on such roads to facilitate emergency vehicles and safety of bus passengers. This part of the road is currently traffic calmed with a number of speed cushions. The speed cushions are placed appropriately at specific distances apart to achieve optimum traffic calming. Additional ramps (speed cushions) would not comply with current design standards and would encourage harsh braking and consequent heavy acceleration and are not an appropriate method of traffic calming for bend approaches due to the safety hazard they would pose during turning movements. In addition no further measures are recommended to be implemented at Shanliss Road near the entrance to Shanliss Park.	Councillor	27/09/2023	0
9	7035345	School Warden	WATERMILL DRIVE (NC)	Dublin 5	Back laneway to school, close to junction with Watermill Road,	Recommended	Following inspection and the School Warden Co-ordinator assessment, a School Warden is recommended on Watermill Drive at the back gate of Scoil Assaim in order to assist the unattended children to cross the road.	Member of the Public	03/10/2023	0



North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
10	7035472	Cul-De-Sac	BROOKWOOD LAWN (NC)	Dublin 5	request signage.	Recommended	Following investigation, it is recommended to install a Cul de Sac sign (F350) at the entrance of Brookwood Lawn (junction with Rosemount Avenue).	Councillor	09/10/2023	0
11	7035615	Traffic Calming	MILLBROOK ROAD (NC)	Dublin 13	Speeding, drivers ignoring safety rules and not giving way etc	Not Recommended	Recently a speed survey was conducted on Millbrook Road. The resultant 85% percentile speed was found to be 40.7 km/h and have not indicated the presence of speeding vehicles which suggests that the road is compliant with the speed limit. Therefore, the provision of any traffic calming measures is not recommended at this time.	Councillor	16/10/2023	0
12	7035619	Parking Restrictions	BELMAYNE ACCESS ROAD (NC)	Dublin 13	erect "no paking" sign or provide DYL's	Not Recommended	The Transport Advisory Group is not in a position to make any traffic management recommendations in relation to Belmayne Boulevard as the location concerned is private and not in the charge of Dublin City Council.	Councillor	17/10/2023	0
13	7035620	Traffic Calming	MARRSFIELD AVENUE (NC)	Dublin 13	Speed Ramps, Ped crossing, DYL's	Not Recommended	The Transport Advisory Group is not in a position to make any traffic management recommendations in relation to Marrisfield Avenue, Main Street - Clongriffin and Park Avenue as the locations concerned are private and not in the charge of Dublin City Council.	Councillor	17/10/2023	0
14	7035674	Traffic Island (Rescind)	HOWTH ROAD (NC)	Dublin 3	Rescind traffic island & illuminated bollards in order to extend the right filter lane backwards, and improve traffic flow.	Not Recommended	The existing traffic island is to alert drivers that a junction is ahead; to provide shelter for vehicles waiting to carry out manoeuvres such as waiting to turn right (onto Main Street and Station Road); they are effective in improving road safety and reducing vehicular collisions. Therefore, the removal of the traffic island is not recommended.	Councillor	18/10/2023	0
15	7035676	Straight Ahead Only Lane	MAIN STREET (NC)	Raheny, Dublin 5	Straight ahead lane and right turn lane markings for this junction.	Not Recommended	The instalment of road traffic directional arrows are not recommended on Main Street: as this road is a bus route the road is unable to accommodate 2 No lanes of traffic (this is in accordance with Design Manual for Urban Road and Streets).	Councillor	18/10/2023	0
16	7035717	Parking Restrictions	GREENWOOD DRIVE (NC)	Dublin 13	Barrier or safety measure to prevent parking on DYLS.	Not Recommended	It is not recommended to install parking restrictions, where restrictions are already covered under the law. Under The Road Traffic (Traffic & Parking) Regulations, Section 36 paragraph (2); a vehicle shall not be parked: (a) on that side of a section of roadway along the edge of which traffic sign number RRM 008 [double yellow lines] has been provided; (c) within 5 metres of a road junction; (i) on a footway, a grass margin or a median strip; Please note that instances of illegal parking should be reported to Dublin Street Parking Services, the City Council's parking enforcement contractor (Ph: 01-602 2500 or Email parkingenforcement@dublincity.ie), or to the local Gardaí, as it is a matter for enforcement under the Road Traffic Regulations.	Councillor	20/10/2023	0



North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
17	7035718	Double Yellow Lines (Extend)	PHILIPSBURGH AVENUE (NC)	Dublin 3	Extend DYs north from 85-87 Philipsburgh Avenue, to facilitate buses turning left from Brian Road.	Recommended	Recommended – The North City Executive Engineer recommends the extension of existing DYs on the west side of Philipsburgh Ave. Between boundary of Nos. 83/85 and the boundary of Nos. 87/89 to aid the No. 123 bus make a left hand turn from Brian Road onto Philipsburgh Ave. This was requested by Dublin Bus to aid this service.	Member of the Public	20/10/2023	0
18	11141793	Traffic Lights (new)	ARDMORE DRIVE (NC)	Dublin 5	request pedestrian crossing at Ardmore/Montrose estate.	Recommended	There is currently no funding for junction upgrade at Kilmore Rd and Ardmore Drive. The requested junction upgrade was added to the waiting list for future works programme along with other locations where crossings signalled / traffic lights have been requested. The locations (including the one raised above) will be reassessed at the end the year with the aim of including them on the next Capital Works Programme, if funding is made available.	Member of the Public	01/08/2023	0
19	11143458	Traffic Lights (new)	MOUNT PROSPECT AVENUE (NC)	Dublin 3	request a pedestrian crossing.	Recommended	The Transport Advisory Group has added the aforementioned location to the list of pedestrian crossings for future consideration. Due to budgetary constraints, the amount of funding available for pedestrian crossings is limited and there are several additional locations currently seeking funding.	Member of the Public	05/09/2023	0
20	143506	Speed Ramps	MAIN STREET (NC)	Coolock, Dublin 5	request traffic calming.	Not Recommended	Main Street (Coolock Village) is currently traffic calmed with 3 x speed ramps placed at the appropriate distances apart for optimum traffic calming, and at the junction with Beechpark Avenue Coolock Village is traffic calmed by virtue of a raised table (large ramp). As well the pedestrian crossing near to Ulster Bank is considered as a traffic calming measure. Main Street has on street parking which is effectively acting as traffic calming by physically narrowing the carriageway and reducing drivers forward visibility in accordance with Design Manual for Urban Roads & Streets guidelines. Main Street is covered by the 30 km/h Slow Zone signage, indicating the lower speed limit and that the area is a Home Zone/Slow Zone, which warns motorists the road is a residential area and to expect children. The signs are clearly marked at entrance from Malahide Road and Oscar Traynor Road. It is therefore not recommended to introduce traffic calming measures on Main Street at this time.	Member of the Public	06/09/2023	0



North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
21	11143518	Children Crossing Sign	DROMNANANE PARK (NC)	Dublin 9	request chjildren crossing signs.	Recommended	There is a 30 km/h Slow Zone signage, indicating the lower speed limit and that the area is a Home Zone/Slow Zone, which warns motorists the road is a residential area and to expect children: it is clearly marked at the entrance on Dromawling Road junction with Beaumont Road. In order to increase the driver awareness, a Children Crossing sign will be provided at the entrance to Dromawling Road junction with Elm Mount Ave and 2 No. "SLOW" road markings will be provided near the green area between Dromawling Road and Dromnanane Park.	Member of the Public	06/09/2023	0
22	11143687	Double Yellow Lines	GRANGEMORE AVENUE (NC)	Dublin 13	request Double lines at the junction of Ardara Avenue and Carraroe Avenue,	Not Recommended	It is not recommended to install parking restrictions, such as placing double yellow lines where restrictions are already covered under the law. Under The Road Traffic (Traffic & Parking) Regulations, Section 36 paragraph (2); a vehicle shall not be parked: (c) within 5 metres of a road junction; (i) on a footway, a grass margin or a median strip; Instances of illegal parking should be reported to Dublin Street Parking Services, the City Council's parking enforcement contractor (Ph: 01-602 2500 or Email parkingenforcement@dublincity.ie), or to the local Gardaí, as it is a matter for enforcement under the Road Traffic Regulations.	TD	08/09/2023	0
23	11143863	Speed Ramps (Rescind)	SAINT BRENDAN'S AVENUE (NC)	Dublin 5	request speed ramps to be removed.	Not Recommended	The existing ramp has been provided as a traffic calming measure to reduce speed and danger to pedestrians. The factors taken into consideration in locating ramps include, spacing between ramps, street lighting, location of driveways and proximity of junctions. The removal of these ramp would allow increased traffic speed and danger to pedestrians. Therefore the removal of these ramp is not recommended.	Member of the Public	13/09/2023	0
24	11144098	Advanced Right Turn Lane Arrow	TONLEGEE ROAD (NC)	Dublin 5	request lane review.	Not Recommended	The Transport Advisory Group (TAG) investigated traffic flow at Malahide Road and Tonlegee Road junction, where the issue of public safety concerns have been raised. The changes made by TAG are to improve traffic movements in light of safety concerns, since cars travelling from Tonlegee Road to Oscar Traynor Road were previously directed from two lane to one lane, resulting in possible road traffic collisions. The decision is appropriate and it is therefore not proposed to change.	Member of the Public	18/09/2023	0

North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
25	11144415	Double Yellow Lines	MARYFIELD CRESCENT (NC)	Dublin 5	request double yellow lines to prevent an overflow of parking from the timber yards apartment complex.	Not Recommended	<p>Castleview has on street parking which is effectively acting as traffic calming by physically narrowing the carriageway and reducing drivers forward visibility. Further restrictions on this section of the road would lead to increased traffic speeds, whereas parking tends to have a calming effect helping to slow down the traffic in accordance with Design Manual for Urban Roads and Streets guidelines.</p> <p>Therefore, parking restrictions are not recommended.</p> <p>The appropriate measure to deal with the issues raised in the service requests is the introduction of a Residents' Permit Parking Scheme. The purpose of a Pay and Display and Permit Parking Scheme is to eliminate long term commuter parking. If the residents would like to apply for a Residential Parking Scheme details of the criteria can be found on the DCC website by clicking the flowing link: https://www.dublincity.ie/residential/parking-dublin-city-centre/start-parking.</p>	Member of the Public	25/09/2023	0
26	11144508	Yield Sign	DONAGHMEDE ROAD (NC)	Dublin 13	request Yield sign at exit from Shopping Centre.	Not Recommended	<p>A yellow box is located at this junction to facilitate egress from the Shopping Centre. Issues relating to vehicles breaking the law should be referred to the Gardai as they occur.</p> <p>With regard to installation of additional signage at Shopping Centre, this is a private landing and Dublin City Council does not have the authority to implement measures on private property.</p>	Member of the Public	26/09/2023	0
27	144672	Yellow Box	COOLOCK DRIVE (NC)	Dublin 17	request yellow box at business premises.	Not Recommended	<p>There is specific criteria which determines when a Yellow Box can be used. Yellow box markings are provided to prevent blocking of major junctions and to aid traffic flow at these locations. They are not permitted for individual entrances such as this one. As such, we cannot recommend a yellow box at this location as the criteria has not been met.</p>	Member of the Public	29/09/2023	0
28	11144913	Children Crossing Sign	FERRYCARRIG AVENUE (NC)	Dublin 17	request signage.	Not Recommended	<p>A previous investigation was made and it was observed that the entire area is currently covered by the 30 km/h Slow Zone signage, Children Crossing Signs, School Ahead Sign and SLOW road markings indicating the lower speed limit and the area is a Home Zone/Slow Zone, which warns motorists they are driving in residential areas and to expect children. The signage are provided at various locations.</p> <p>To avoid the proliferation of extra signage, it is not recommended to add additional signage at this location.</p>	TD	04/10/2023	0
29	11144973	Parking Restrictions	SWAN'S NEST AVENUE (NC)	Dublin 5	request restrictions.	Recommended	<p>It is not recommended to install parking restrictions, such as placing double yellow lines where restrictions are already covered under the law. Under The Road Traffic (Traffic & Parking) Regulations, Section 36 paragraph (2); a vehicle shall not be parked:</p> <p>(c) within 5 metres of a road junction;</p> <p>However, in order to create a safe crossing point for pedestrians, it is recommended to install a YIELD line with an associated Continuous Single Centre Line and a worded YIELD Marking on Swans Nest Ave (cul de sac) at the junction with Swans Nest Ave (main road).</p>	Member of the Public	04/10/2023	0



North Central Area - TAG Meeting Minutes for Noting

(Area Committee Date: 20/11/2023)

07/11/2023

30 Items

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Item	Enquiry	Topic	Road	Post	Request Description	Tag Result	Tag Comments	Request By	Received	Sec
30	11145579	Traffic Calming	DUNDANIEL ROAD (NC)	Dublin 5	request a yellow box where Castletimon Road meets Dundaniel Road.	Not Recommended	Following an on-site investigation at Dundaniel Road/Castletimon Road junction during peak time, no instances of significant blockages at the junction were observed. Vehicles were observed exiting/entering the estate without any difficulty. It is therefore, not recommended to install a yellow box at the above location	TD	16/10/2023	0

To the Chairperson and Members
of the North Central Area Committee

17th October 2023

Traffic Service Requests, Status Report as at 15/10/2023 North Central Area Committee Meeting 20/11/2023

Traffic Advisory Group (TAG) Service Request Statistics

No. TAG Requests received since previous report	53
Total TAG Requests currently open on Confirm	269

Breakdown of TAG Requests currently open on Confirm

Stage 1	1
Stage 2	203
Stage 3	-
Stage 4	48
Stage 5	17
Appeal	-

General traffic service requests not requiring Statutory Orders.

Total Non Tag requests received since previous report	25
Total Non Tag requests currently open on Confirm.	91

Traffic Advisory Group Status Reports

Explanation of Stages:

- Stage 1 - Set up file, Assignment to Engineer, etc
- Stage 2 - Assessment, Site surveys, review statutory orders, etc
- Stage 3 - Consultations, with Garda, Dublin Bus, Luas, NTA, Local residents / businesses, etc
- Stage 4 - Decision, TAG group, statutory orders, etc
- Stage 5 - Implementation, signs, lines, construction, signal changes, certifications, etc

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Item	Enquiry	SP Ref	Site	Subject	Logged	Status
1	11145368	TRF553779	MALAHIDE ROAD (NC)	Pedestrian Crossing	11/10/2023	1
2	7011583		CLONTARF ROAD (NC)	Traffic Calming	01/10/2019	2
3	7012489		LORCAN AVENUE (NC)	TAG General Engineer Query	18/11/2019	2
4	7012620		TONLEGEE ROAD (NC)	Pedestrian Crossing	27/11/2019	2
5	7014040		CARNDONAGH PARK (NC)	TAG General Engineer Query	27/02/2020	2
6	7014271		ADARE PARK (NC)	Traffic Calming	09/03/2020	2
7	7015219		SAINT AIDAN'S PARK ROAD (NC)	TAG General Engineer Query	10/06/2020	2
8	7015883		CLONTARF ROAD (NC)	Traffic Calming	06/07/2020	2
9	7016197		SHANOWEN AVENUE (NC)	Traffic Calming	05/08/2020	2
10	7016479		GRANGE ABBEY ROAD (NC)	Traffic Calming	21/08/2020	2
11	7017176		GRANGE ABBEY ROAD (NC)	Traffic Calming	02/10/2020	2
12	7017244		SHANOWEN AVENUE (NC)	Traffic Calming	06/10/2020	2
13	7017304		GRANGE ROAD (NC)	Disab Park Bay General	12/10/2020	2
14	7018953		SAINT AIDAN'S PARK ROAD (NC)	Mini Roundabout	09/02/2021	2
15	7018970		WOODBINE PARK (NC)	Speed Ramps	10/02/2021	2
16	7019390		SAINT BRIGID'S ROAD (NC)	TAG General Engineer Query	08/03/2021	2
17	7019523		HOLYWELL ROAD (NC)	Traffic Calming	18/03/2021	2
18	7019579		HOWTH ROAD NUMBER 150 (NC)	Traffic Calming	23/03/2021	2
19	7019777		MOUNT PROSPECT AVENUE (NC)	Traffic Calming	01/04/2021	2
20	7019883		HOWTH ROAD (NC)	TAG General Engineer Query	08/04/2021	2
21	7019905		KILMORE DRIVE (NC)	Traffic Calming	12/04/2021	2
22	7020055		ROSEGLEN AVENUE (NC)	Traffic Calming	20/04/2021	2
23	7020077		MOUNT PROSPECT AVENUE (NC)	Pedestrian Crossing	21/04/2021	2
24	7020198		OSCAR TRAYNOR ROAD (NC)	TAG General Engineer Query	26/04/2021	2
25	7020460		KINCORA ROAD (NC)	Speed Ramps	11/05/2021	2
26	7020525		COLLINSWOOD (NC)	Traffic Calming	12/05/2021	2
27	7021112		MILLBROOK ROAD (NC)	Traffic Calming	16/06/2021	2
28	7021255		GREENDALE ROAD (NC)	TAG General Engineer Query	23/06/2021	2

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
29	7021746		GRANGE ABBEY DRIVE (NC)	Speed Ramps	20/07/2021	2
30	7021879		SEAPARK DRIVE (NC)	Traffic Calming	28/07/2021	2
31	7021884		MACROOM AVENUE (NC)	Speed Ramps	29/07/2021	2
32	7022123		ALL SAINTS ROAD (NC)	Zebra Crossing	13/08/2021	2
33	7022280		PRIORSWOOD ROAD (NC)	Pedestrian Crossing	23/08/2021	2
34	7022371		GRACE PARK MEADOWS (NC)	Traffic Calming	31/08/2021	2
35	7022410		COOLATREE PARK (NC)	Speed Ramps	01/09/2021	2
36	7022562		HARMONSTOWN ROAD (NC)	Pedestrian Crossing	10/09/2021	2
37	7022593		BELTON PARK ROAD (NC)	Double Yellow Lines	10/09/2021	2
38	7023087		AYRFIELD AVENUE (NC)	Traffic Calming	11/10/2021	2
39	7023279		COLLINS PARK (NC)	Traffic Calming	20/10/2021	2
40	7023482		CRESTFIELD AVENUE (NC)	Traffic Calming	03/11/2021	2
41	7023485		HOWTH ROAD (NC)	TAG General Engineer Query	04/11/2021	2
42	7023568		MOUNT PROSPECT AVENUE (NC)	Zebra Crossing	08/11/2021	2
43	7023836		KILBARRACK AVENUE (NC)	Traffic Calming	24/11/2021	2
44	7024334		SEAFIELD ROAD WEST (NC)	TAG General Engineer Query	11/01/2022	2
45	7024406		BROOKWOOD AVENUE (NC)	Traffic Calming	17/01/2022	2
46	7024562		BELTON PARK ROAD (NC)	Traffic Calming	25/01/2022	2
47	7024674		SEAPARK DRIVE (NC)	Traffic Calming	31/01/2022	2
48	7024912		GLIN ROAD (NC)	Pedestrian Crossing	14/02/2022	2
49	7024929		CROMCASTLE ROAD (NC)	Pedestrian Crossing	15/02/2022	2
50	7024993		HOWTH ROAD (NC)	Toucan Crossing	17/02/2022	2
51	7024994		SAINT ASSAM'S ROAD WEST (NC)	Traffic Calming	17/02/2022	2
52	7025247		MOATVIEW DRIVE (NC)	Roundabout	02/03/2022	2
53	7025395		COLLINS PARK (NC)	Speed Ramps	09/03/2022	2
54	7025492		WATERMILL ROAD (NC)	Left Turn Only	15/03/2022	2
55	7025902		CLONTARF ROAD (NC)	Traffic Calming	07/04/2022	2
56	7025965		HOWTH ROAD (NC)	Traffic Calming	11/04/2022	2

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
57	7025968		HOWTH JUNCTION COTTAGES (NC)	Stop Sign	11/04/2022	2
58	7026047		SEAFIELD ROAD WEST (NC)	TAG General Engineer Query	13/04/2022	2
59	7026092		ARDMORE DRIVE (NC)	Traffic Lights (new)	19/04/2022	2
60	7026146		RICHMOND ROAD (NC)	TAG General Engineer Query	21/04/2022	2
61	7026549		ALL SAINTS ROAD (NC)	Children Crossing Sign	09/05/2022	2
62	7026580		ALL SAINTS ROAD (NC)	Traffic Calming	10/05/2022	2
63	7026623		OAKPARK AVENUE (NC)	TAG General Engineer Query	12/05/2022	2
64	7026961		OULTON ROAD (NC)	Traffic Calming	26/05/2022	2
65	7027012		EDENMORE GROVE (NC)	Traffic Calming	30/05/2022	2
66	7027256		CHURCH AVENUE (NC)	Traffic Calming	13/06/2022	2
67	7027405		THORNVILLE DRIVE (NC)	Traffic Calming	21/06/2022	2
68	7027432		FOXFIELD GROVE (NC)	Traffic Calming	21/06/2022	2
69	7027455		BRIAN ROAD (NC)	Traffic Calming	22/06/2022	2
70	7027586		BULL WALL (NC)	Traffic Calming	29/06/2022	2
71	7027588		GLENFARNE ROAD (NC)	Traffic Calming	29/06/2022	2
72	7027641		FOXHILL DRIVE (NC)	Traffic Lights (new)	04/07/2022	2
73	7027754		KILMORE ROAD (NC)	School Warden	08/07/2022	2
74	7027796		REDMOND'S COURT (NC)	Traffic Calming	12/07/2022	2
75	7027801		BROOKWOOD GROVE (NC)	Traffic Calming	12/07/2022	2
76	7027802		ROSEMOUNT AVENUE (NC)	Traffic Calming	12/07/2022	2
77	7027804		SAINT AIDAN'S PARK ROAD (NC)	TAG General Engineer Query	12/07/2022	2
78	7027994		MAYWOOD AVENUE (NC)	Traffic Calming	18/07/2022	2
79	7027995		THORNVILLE AVENUE (NC)	Traffic Calming	18/07/2022	2
80	7028144		HOWTH ROAD (NC)	Buildout	26/07/2022	2
81	7028311		CLONTARF ROAD (NC)	TAG General Engineer Query	08/08/2022	2
82	7028470		HOWTH ROAD (NC)	Traffic Calming	15/08/2022	2
83	7028526		MALAHIDE ROAD (NC)	Traffic Calming	17/08/2022	2
84	11126104	2923864	SHANTALLA ROAD (NC)	Traffic Calming	26/08/2022	2

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
85	7028855		CHARLEMONT ROAD (NC)	Traffic Calming	05/09/2022	2
86	7028916		SHANTALLA ROAD (NC)	One-Way System	07/09/2022	2
87	7029034		EDENMORE GARDENS (NC)	Traffic Calming	13/09/2022	2
88	7029035		MALAHIDE ROAD (NC)	TAG General Engineer Query	13/09/2022	2
89	7029435		PHILIPSBURGH AVENUE (NC)	Double Yellow Lines	05/10/2022	2
90	7029582		THE DEMESNE (NC)	Traffic Calming	12/10/2022	2
91	7029628		KINCORA ROAD (NC)	Traffic Calming	13/10/2022	2
92	7029721		SLADEMORE AVENUE (NC)	Traffic Calming	20/10/2022	2
93	7029735		SAINT LAWRENCE ROAD (NC)	Traffic Lights (new)	20/10/2022	2
94	7030112		BLUNDEN DRIVE (NC)	Pedestrian Crossing	09/11/2022	2
95	7030418		CARNDONAGH PARK (NC)	Traffic Calming	24/11/2022	2
96	7030621		GREENDALE ROAD (NC)	Traffic Calming	06/12/2022	2
97	7030685		GREENDALE ROAD (NC)	Pedestrian Crossing	08/12/2022	2
98	7030803		CLONSHAUGH ROAD (NC)	Pedestrian Crossing	16/12/2022	2
99	11131355	TRF479561	SHANBOLEY ROAD (NC)	Speed Ramps	18/01/2023	2
100	11131934	TRF481723	ROSEMOUNT AVENUE (NC)	Speed Ramps	27/01/2023	2
101	11132541	TRF485100	THE DEMESNE (NC)	Pedestrian Crossing	08/02/2023	2
102	11133159	TRF488372	SAINT BRIGID'S CRESCENT (NC)	Pedestrian Crossing	18/02/2023	2
103	11134216	TRF495155	COOLEEN AVENUE (NC)	Speed Ramps	09/03/2023	2
104	7032040		TULIP COURT (NC)	Pedestrian Crossing	10/03/2023	2
105	7032067		MAYWOOD CRESCENT (NC)	Traffic Calming	13/03/2023	2
106	7032071		MOUNT PROSPECT PARK (NC)	Traffic Calming	13/03/2023	2
107	11134871	TRF499367	SEVEN OAKS (NC)	Pedestrian Crossing	21/03/2023	2
108	11135709	TRF505052	THE STILES ROAD (NC)	Pedestrian Crossing	04/04/2023	2
109	7032587		THE HOLE IN THE WALL ROAD (NC)	Traffic Calming	20/04/2023	2
110	11136774	TRF510385	GREENCASTLE ROAD (NC)	Traffic Lights (new)	25/04/2023	2
111	11137128	TRF511192	GRANGE ROAD (NC)	Broken Centre Line	27/04/2023	2
112	11137129	TRF511197	CLARE HALL AVENUE (NC)	Broken Centre Line	27/04/2023	2



Status Report

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
113	11137131	TRF511198	MALAHIDE ROAD (NC)	Broken Centre Line	27/04/2023	2
114	11137446	TRF512915	BROOKWOOD CRESCENT (NC)	Speed Ramps	04/05/2023	2
115	11137450	TRF512918	MAIN STREET (NC)	Yellow Box	04/05/2023	2
116	7032966		COLLINS AVENUE (NC)	School Warden	10/05/2023	2
117	11138109	TRF516002	EDENMORE GARDENS (NC)	Speed Ramps	15/05/2023	2
118	11138456	TRF518145	MARINO CRESCENT (NC)	Traffic Calming	22/05/2023	2
119	11138466	RMS51825	ALBERT COLLEGE PARK (NC)	Speed Ramps	23/05/2023	2
120	7033238		BROOKWOOD CRESCENT (NC)	Speed Ramps	25/05/2023	2
121	11138971	TRF521698	GREENCASTLE ROAD (NC)	Pedestrian Crossing	06/06/2023	2
122	11139218	TRF523071	CLONTURK GARDENS (NC)	Double Yellow Lines	11/06/2023	2
123	11139273	TRF523449	SAINT BRENDAN'S PARK (NC)	Stop Sign	13/06/2023	2
124	7033552		SPRINGDALE ROAD (NC)	Traffic Calming	13/06/2023	2
125	11139299	TRF523550	FOXFIELD PARK (NC)	Traffic Calming	13/06/2023	2
126	11139325	TRF523691	GRANGE ROAD (NC)	Traffic Lights (new)	13/06/2023	2
127	11139507	TRF524261	RIBH ROAD (NC)	Double Yellow Lines	15/06/2023	2
128	11139524	TRF524391	CLANREE ROAD (NC)	Double Yellow Lines	16/06/2023	2
129	11139683	TRF525305	HOWTH ROAD (NC)	Pedestrian Crossing	20/06/2023	2
130	7033687		LORCAN DRIVE (NC)	Stop Sign	20/06/2023	2
131	7033700		GRANGE PARK ROAD (NC)	Traffic Calming	21/06/2023	2
132	11139781	TRF525782	JAMES LARKIN ROAD (NC)	ITS Right Turn Filter Light	21/06/2023	2
133	11139954	TRF526325	WYTELEAF GROVE (NC)	Traffic Calming	23/06/2023	2
134	7033787		KILMORE DRIVE (NC)	Children Crossing Sign	26/06/2023	2
135	7033795		MIDDLE THIRD (NC)	TAG General Engineer Query	26/06/2023	2
136	11140030	TRF526816	GRANGE ROAD (NC)	Disab Park Bay General	26/06/2023	2
137	7033804		LORCAN AVENUE (NC)	Pedestrian Crossing	26/06/2023	2
138	11140173	TRF527384	WALNUT WALK (NC)	Double Yellow Lines	28/06/2023	2
139	7033840		LORCAN CRESCENT (NC)	Traffic Calming	28/06/2023	2
140	7033853		TONLEGEE ROAD (NC)	Pedestrian Crossing	28/06/2023	2

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
141	11140212	TRF527519	MIDDLE THIRD (NC)	Single Yellow Line	28/06/2023	2
142	11140413	TRF528621	CLONSHAUGH ROAD (NC)	Pedestrian Crossing	03/07/2023	2
143	11140439	TRF528726	FOXHILL DRIVE (NC)	Roundabout	03/07/2023	2
144	11140666	TRF529627	RIVERSIDE PARK (NC)	Traffic Lights (new)	06/07/2023	2
145	7034015		CARNDONAGH ROAD (NC)	Traffic Calming	11/07/2023	2
146	7034017		KILBARRACK ROAD (NC)	Hatched Markings	11/07/2023	2
147	11140866	TRF530818	CLONROSSE DRIVE (NC)	Traffic Lights (new)	11/07/2023	2
148	7034387		TONLEGEE AVENUE (NC)	Double Yellow Lines (Extend)	01/08/2023	2
149	11141858	TRF536459	EDENMORE GREEN (NC)	Speed Ramps	02/08/2023	2
150	11141914	TRF536710	SHANOWEN ROAD (NC)	Loading Bay	04/08/2023	2
151	11142012	TRF537760	GRANGE PARK CRESCENT (NC)	Speed Ramps	08/08/2023	2
152	11142262	TRF539345	CLANAWLEY ROAD (NC)	Single Yellow Line	14/08/2023	2
153	11142354	TRF539717	SWORDS ROAD (NC)	Clearway	16/08/2023	2
154	11142720	TRF541175	TONLEGEE ROAD (NC)	Yellow Box (Rescind)	22/08/2023	2
155	11143043	TRF542444	CASTLE AVENUE (NC)	Pedestrian Crossing	28/08/2023	2
156	7034757		ALBERT COLLEGE PARK (NC)	Speed Ramps	28/08/2023	2
157	7034758		ALBERT COLLEGE PARK (NC)	Double Yellow Lines	28/08/2023	2
158	7034777		GRACE PARK ROAD (NC)	Traffic Calming	29/08/2023	2
159	7034785		GRIFFITH WALK (NC)	Traffic Calming	29/08/2023	2
160	11143134	TRF542806	COLLINS AVENUE (NC)	Advanced Right Turn Lane Arrow	29/08/2023	2
161	11143207	TRF543115	MALAHIDE ROAD (NC)	Yellow Box (Rescind)	30/08/2023	2
162	11143217	TRF543135	HOLYWELL CRESCENT (NC)	Traffic Calming	30/08/2023	2
163	11143256	TRF543412	COLLINS AVENUE (NC)	No Parking	31/08/2023	2
164	11143324	TRF543773	CASTLE VIEW (NC)	Speed Ramps	01/09/2023	2
165	11143325	TRF543783	BRIAN BORU STREET (NC)	Buildout	01/09/2023	2
166	11143405	TRF544371	LIMEWOOD PARK (NC)	Double Yellow Lines	04/09/2023	2
167	7034869		GRIFFITH AVENUE (NC)	Traffic Calming	05/09/2023	2
168	11143444	TRF544596	TONLEGEE AVENUE (NC)	Pedestrian Crossing	05/09/2023	2



Status Report

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
169	7034997		GRANGE ABBEY ROAD (NC)	Traffic Calming	12/09/2023	2
170	11143850	TRF546673	GRIFFITH AVENUE (NC)	No Right Turn	13/09/2023	2
171	11143866	TRF546732	GLENAAN ROAD (NC)	School Keep Clear	13/09/2023	2
172	11143885	TRF546820	ALBERT COLLEGE PARK (NC)	Speed Ramps	13/09/2023	2
173	11143888	TRF546827	ARDLEA ROAD (NC)	Yellow Box	13/09/2023	2
174	11143936	TRF547078	SYBIL HILL ROAD (NC)	Double Yellow Lines	14/09/2023	2
175	11143955	TRF547214	MAYWOOD AVENUE (NC)	Stop Line	15/09/2023	2
176	11144054	TRF547870	CASTLE AVENUE (NC)	Speed Ramps	18/09/2023	2
177	7035086		COLLINS AVENUE EXTENSION (NC)	TAG General Engineer Query	19/09/2023	2
178	11144125	TRF548167	FOXFIELD ROAD (NC)	No Parking	19/09/2023	2
179	7035087		GRANGE ABBEY ROAD (NC)	TAG General Engineer Query	19/09/2023	2
180	11144258	TRF548689	CASTLE AVENUE (NC)	Pedestrian Crossing	21/09/2023	2
181	11144291	TRF548854	COOLOCK LANE OLD (NC)	Speed Ramps	21/09/2023	2
182	11144297	TRF548894	COPELAND AVENUE (NC)	Advanced Right Turn Lane Arrow	21/09/2023	2
183	7035134		CLONSHAUGH DRIVE (NC)	Yellow Box	22/09/2023	2
184	7035137		CLONSHAUGH DRIVE (NC)	School Warden Crossing Box	22/09/2023	2
185	11144331	TRF549010	STATION ROAD (NC)	Double Yellow Lines (Rescind)	22/09/2023	2
186	11144348	TRF549076	LEIN GARDENS (NC)	No Parking	22/09/2023	2
187	7035224		MOUNT PROSPECT PARK (NC)	Zebra Crossing	26/09/2023	2
188	7035238		MOUNT PROSPECT AVENUE (NC)	School Warden	27/09/2023	2
189	7035240		SHANLISS PARK (NC)	Double Yellow Lines	27/09/2023	2
190	7035242		SHANOWEN ROAD (NC)	Pedestrian Crossing	27/09/2023	2
191	7035260	SP_40677	THORNVILLE ROAD (NC)	School Warden Crossing Box	28/09/2023	2
192	11144662	TRF550588	DARNDALE SERVICE ROAD (NC)	No Parking	28/09/2023	2
193	7035302		BEECHPARK AVENUE (NC)	Speed Ramps	02/10/2023	2
194	7035333		CHANEL GROVE (NC)	Double Yellow Lines	03/10/2023	2
195	11144911	TRF551812	CASTLE AVENUE (NC)	Traffic Calming	04/10/2023	2
196	7035408		DARNDALE SERVICE ROAD (NC)	Parking Restrictions	04/10/2023	2



Status Report

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
197	7035473		CLONSHAUGH AVENUE (NC)	Traffic Lights (new)	09/10/2023	2
198	7035474		SHANOWEN GROVE (NC)	Traffic Calming	09/10/2023	2
199	7035477		GRANGE ABBEY GROVE (NC)	Traffic Lights (new)	09/10/2023	2
200	7035483		HOWTH ROAD (NC)	Pedestrian Crossing	10/10/2023	2
201	11145196	TRF553297	GRACE PARK HEIGHTS (NC)	Pedestrian Crossing	10/10/2023	2
202	7035501		ARDMORE DRIVE (NC)	Pedestrian Crossing	10/10/2023	2
203	11145427	TRF554016	WATERMILL ROAD (NC)	Bus Stop Marking	12/10/2023	2
204	11145450	TRF554101	MARINO PARK (NC)	Pedestrian Crossing	13/10/2023	2
205	7017565		COLLINS AVENUE (NC)	Pedestrian Crossing	27/10/2020	4
206	7018183		GREENWOOD WALK (NC)	Traffic Calming	30/11/2020	4
207	7018492		GREENWOOD WALK (NC)	Speed Ramps	23/12/2020	4
208	7021348		SAINT BRIGID'S ROAD (NC)	Traffic Calming	29/06/2021	4
209	7022427		MIDDLE THIRD (NC)	Traffic Calming	02/09/2021	4
210	7023036		COLLINS AVENUE (NC)	Pedestrian Crossing	07/10/2021	4
211	7023674		LEIN ROAD (NC)	Traffic Calming	16/11/2021	4
212	7024922		COLLINSWOOD (NC)	Pedestrian Crossing	14/02/2022	4
213	7024980		SHANTALLA ROAD (NC)	Pedestrian Crossing	16/02/2022	4
214	7026581		ABBEYFIELD (NC)	Traffic Calming	10/05/2022	4
215	7026614		ELLENFIELD ROAD (NC)	Traffic Calming	11/05/2022	4
216	7031094		MARYVILLE ROAD (NC)	Traffic Calming	17/01/2023	4
217	11138112	TRF516023	MORNINGTON GROVE (NC)	Double Yellow Lines	15/05/2023	4
218	11138389	TRF517682	KILLESTER AVENUE (NC)	Double Yellow Lines	20/05/2023	4
219	11139316	TRF523654	HAMPSTEAD PARK (NC)	Double Yellow Lines	13/06/2023	4
220	7033784		SHELMARTIN TERRACE (NC)	TAG General Engineer Query	26/06/2023	4
221	11140240	TRF527723	MALAHIDE ROAD (NC)	No Right Turn	29/06/2023	4
222	11140824	TRF530696	GREENWOOD WALK (NC)	Speed Ramps	11/07/2023	4
223	11141680	TRF535227	SAINT ASSAM'S AVENUE (NC)	Speed Ramps	28/07/2023	4
224	11141793	TRF536022	ARDMORE DRIVE (NC)	Traffic Lights (new)	01/08/2023	4



Status Report

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
225	11141811	TRF536136	KILMORE ROAD (NC)	Yellow Box	01/08/2023	4
226	11142366	TRF539784	HOLLYBROOK ROAD (NC)	Disab Park Bay Resid (Rescind)	16/08/2023	4
227	11142453	TRF540095	RATHMORE PARK (NC)	Speed Ramps	17/08/2023	4
228	11142742	TRF541253	FAIRVIEW GREEN (NC)	Double Yellow Lines	22/08/2023	4
229	7034701		PRIMROSE GROVE (NC)	Double Yellow Lines	23/08/2023	4
230	11142827	TRF541541	COLLINS AVENUE EAST (NC)	Stop Sign	23/08/2023	4
231	11143458	TRF544667	MOUNT PROSPECT AVENUE (NC)	Traffic Lights (new)	05/09/2023	4
232	11143506	TRF544873	MAIN STREET (NC)	Speed Ramps	06/09/2023	4
233	11143518	TRF544942	DROMNANANE PARK (NC)	Children Crossing Sign	06/09/2023	4
234	7034916		CRAIGFORD AVENUE (NC)	Double Yellow Lines	06/09/2023	4
235	11143687	TRF545666	GRANGEMORE AVENUE (NC)	Double Yellow Lines	08/09/2023	4
236	11143863	TRF546735	SAINT BRENDAN'S AVENUE (NC)	Speed Ramps (Rescind)	13/09/2023	4
237	11143864	TRF546753	SHANARD ROAD (NC)	Speed Ramps	13/09/2023	4
238	11143891	TRF546836	GRIFFITH DOWNS (NC)	Yellow Box	13/09/2023	4
239	7035052		CASTLE AVENUE (NC)	Double Yellow Lines	15/09/2023	4
240	11144006	TRF547577	STREAMVILLE CLOSE (NC)	Traffic Calming	16/09/2023	4
241	11144098	TRF548050	TONLEGEE ROAD (NC)	Advanced Right Turn Lane Arrow	18/09/2023	4
242	7035108		CLONTARF ROAD (NC)	Bus Infrastructure	21/09/2023	4
243	7035181		CROMCASTLE ROAD (NC)	School Warden Crossing Box	25/09/2023	4
244	11144415	TRF549522	MARYFIELD CRESCENT (NC)	Double Yellow Lines	25/09/2023	4
245	11144508	TRF549873	DONAGHMEDE ROAD (NC)	Yield Sign	26/09/2023	4
246	7035239		SHANLISS PARK (NC)	Speed Ramps	27/09/2023	4
247	7035241		SHANLISS ROAD (NC)	Speed Ramps	27/09/2023	4
248	11144672	TRF550632	COOLOCK DRIVE (NC)	Yellow Box	29/09/2023	4
249	7035345		WATERMILL DRIVE (NC)	School Warden	03/10/2023	4
250	11144913	TRF551813	FERRYCARRIG AVENUE (NC)	Children Crossing Sign	04/10/2023	4
251	11144973	TRF552052	SWAN'S NEST AVENUE (NC)	Parking Restrictions	04/10/2023	4
252	7035472		BROOKWOOD LAWN (NC)	Cul-De-Sac	09/10/2023	4



Status Report

Item	Enquiry	SP Ref	Site	Subject	Logged	Status
253	7020413		ANNADALE AVENUE (NC)	TAG General Engineer Query	07/05/2021	5
254	7029085		CLONTARF ROAD (NC)	Parking Restrictions	15/09/2022	5
255	7031108		RICHMOND ROAD (NC)	Disab Park Bay Resid (Rescind)	17/01/2023	5
256	11132112	TRF482523	SHANARD ROAD (NC)	TAG General Engineer Query	31/01/2023	5
257	7031462		HOWTH ROAD (NC)	School Warden	07/02/2023	5
258	7031589		CROYDON PARK AVENUE (NC)	Disab Park Bay Residential	14/02/2023	5
259	7031666		GRANGE ROAD (NC)	Bus Infrastructure	21/02/2023	5
260	7032048		MAYWOOD CRESCENT (NC)	Stop Sign	13/03/2023	5
261	7032082		CARNDONAGH LAWN (NC)	Double Yellow Lines	14/03/2023	5
262	7032364		MAGENTA HALL (NC)	Double Yellow Lines	30/03/2023	5
263	7032436		GRACEFIELD ROAD (NC)	Loading Bay	04/04/2023	5
264	7032478		SHANOWEN GROVE (NC)	Continuous White Line	06/04/2023	5
265	7032608		CLONTARF ROAD (NC)	Bus Infrastructure	20/04/2023	5
266	7032973		GRACEFIELD AVENUE (NC)	Disab Park Bay Residential	10/05/2023	5
267	11138681	TRF519200	HOLLYBROOK ROAD (NC)	Disab Park Bay Resid (Rescind)	26/05/2023	5
268	11139194	TRF522752	LORCAN ROAD (NC)	Double Yellow Lines	09/06/2023	5
269	7033691		SWORDS ROAD (NC)	Bus Infrastructure	20/06/2023	5

DCC DRAINAGE DIVISION Gully Cleaning Program								
Daily Returns Statistics For - All Areas In The North Central Area, All Machines, All Operators, October 2023								
Total Inspected:	2702							
Total Cleaned:	2537							
Total Omissions:	117							
Total Repairs Noted:	151							
Total Street Visits:	497							
Insp.=Inspected, Cl.=Cleaned, Om.=Omissions, Rep.=Repairs, M/V=Machine/Van, MDN=Machine Digging Needed, HDN=Hand Digging Needed, OSP= On-Street Parking, TS= Traffic Sensitive								
Date	Area	Street	Insp.	Cl.	Om.	Rep.	M/V	Comments
31/10/2023	1	ADARE AVENUE	10	9	<u>1</u>	<u>2</u>	GCCV 4	Tm002 Road finished
31/10/2023	1	ADARE ROAD	37	33	<u>4</u>	<u>3</u>	GCCV 4	Tm002 Road finished
20/10/2023	1	ADARE ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	Decanted
11/10/2023	1	BARRYS COURT ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	1	BARRYS COURT ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	1	BARRYS COURT ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
20/10/2023	1	BARRYS COURT ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
10/10/2023	1	BELCAMP GROVE	24	22	<u>2</u>	<u>0</u>	GCCV 3	Ss_001 Road finished
10/10/2023	1	BELCAMP LANE	5	5	<u>0</u>	<u>0</u>	GCCV 3	Ss oo1 not finished
11/10/2023	1	BELCAMP LANE	14	14	<u>0</u>	<u>0</u>	GCCV 3	Road finished
20/10/2023	1	BUNRATTY ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	1	BUNRATTY ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	1	BUNRATTY ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	1	BUNRATTY ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
10/10/2023	1	CLONSHAUGH AVENUE	43	43	<u>0</u>	<u>2</u>	GCCV 3	Ss_001 Road finished
09/10/2023	1	CLONSHAUGH CLOSE	17	17	<u>0</u>	<u>0</u>	GCCV 3	Rd finished 001ss
01/10/2023	1	CLONSHAUGH COURT	2	2	<u>0</u>	<u>0</u>	GCCV 3	Ss 001 Rd finished
01/10/2023	1	CLONSHAUGH COURT	0	0	<u>0</u>	<u>0</u>	GCCV 3	Filled with water
01/10/2023	1	CLONSHAUGH CRESCENT	13	12	<u>1</u>	<u>0</u>	GCCV 3	Rd finished 001ss
04/10/2023	1	CLONSHAUGH DRIVE	24	23	<u>1</u>	<u>1</u>	GCCV 3	Ss_001 Road finished
09/10/2023	1	CLONSHAUGH GREEN	6	6	<u>0</u>	<u>1</u>	GCCV 3	Rd finished 001ss
09/10/2023	1	CLONSHAUGH GROVE	8	8	<u>0</u>	<u>0</u>	GCCV 3	Rd finished 001ss
09/10/2023	1	CLONSHAUGH HEIGHTS	20	19	<u>1</u>	<u>0</u>	GCCV 3	Rd finished 001ss 8
06/10/2023	1	CLONSHAUGH LAWN	2	2	<u>0</u>	<u>0</u>	GCCV 3	Rd finished
09/10/2023	1	CLONSHAUGH MEADOW	11	9	<u>2</u>	<u>0</u>	GCCV 3	Ss 001 Rd finished
06/10/2023	1	CLONSHAUGH PARK	21	20	<u>1</u>	<u>0</u>	GCCV 3	Road finished
09/10/2023	1	CLONSHAUGH RISE	3	3	<u>0</u>	<u>0</u>	GCCV 3	Ss_001 Road finished
01/10/2023	1	CLONSHAUGH ROAD	80	73	<u>3</u>	<u>0</u>	GCCV 3	Rd not finished
04/10/2023	1	CLONSHAUGH ROAD	16	16	<u>0</u>	<u>1</u>	GCCV 3	Ss_001 Road finished
06/10/2023	1	CLONSHAUGH WALK	15	13	<u>2</u>	<u>0</u>	GCCV 3	Rd finished
11/10/2023	1	COOLOCK LANE swords rd to larch hill	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	1	COOLOCK LANE swords rd to larch hill	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
20/10/2023	1	COOLOCK LANE swords rd to larch hill	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	1	COOLOCK LANE swords rd to larch hill	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
06/10/2023	1	GLIN AVENUE	19	19	<u>0</u>	<u>0</u>	GCCV 4	Tmss002 Road finished
06/10/2023	1	GLIN CRESCENT	6	6	<u>0</u>	<u>0</u>	GCCV 4	Tmss002 Road finished
06/10/2023	1	GLIN PARK	22	21	<u>1</u>	<u>1</u>	GCCV 4	Road finished ssoo2
27/10/2023	1	GREENCASTLE ROAD	2	2	<u>0</u>	<u>1</u>	CRM	@189
31/10/2023	1	GREENCASTLE ROAD	1	0	<u>1</u>	<u>0</u>	CRM	O/S House no 190, parked car., OSP
19/10/2023	1	MALAHIDE RD clarehall-tonlegee rd	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	1	MALAHIDE RD clarehall-tonlegee rd	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
20/10/2023	1	MALAHIDE RD clarehall-tonlegee rd	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
31/10/2023	1	MALAHIDE RD clarehall-tonlegee rd	2	2	<u>0</u>	<u>0</u>	DYN3	Flooding cleared at bus stop 1273 over river
20/10/2023	1	MOATVIEW AVENUE	63	57	<u>6</u>	<u>6</u>	GCCV 1	Road completed TMSS002
10/10/2023	1	RIVERSIDE AVENUE	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	o/s no 32, gully working cctv done.
10/10/2023	1	RIVERSIDE AVENUE	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	opp no 2, gully working cctv done.
12/10/2023	1	RIVERSIDE AVENUE	1	0	<u>0</u>	<u>1</u>	GCCTV	CCTV Surface/Training(1/Stretch 1/Abandoned-Main Needs Cleaning-Total Distance 22.7M)Plan B01

11/10/2023	1	RIVERSIDE AVENUE	1	0	<u>0</u>	<u>1</u>	GCCTV	CCTV Training Surface(1/Stretch 1/Abandoned-Main Needs Cleaning-Total Distance 23.2M)Plan B01
10/10/2023	1	RIVERSIDE CRESCENT	1	0	<u>0</u>	<u>1</u>	GCCTV	CCTV Survey-Surface(1/Stretch 1/Abandoned-Main Needs Cleaning-Total Distance 23.3M)Plan B01
12/10/2023	1	RIVERSIDE DRIVE	4	1	<u>0</u>	<u>3</u>	GCCTV	CCTV Surface/Training(4/Stretch es 3/Abandoned-Main Needs Cleaning-Total Distance 151.5M)Plan B14
12/10/2023	1	RIVERSIDE GROVE	1	0	<u>1</u>	<u>0</u>	Jetting Crew A	o/s no 44, parked car
12/10/2023	1	RIVERSIDE GROVE	1	0	<u>1</u>	<u>0</u>	Jetting Crew A	o/s no 23, parked car.
17/10/2023	1	RIVERSIDE GROVE	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	o/s no 44, gully working cctv done. Roots removed.
17/10/2023	1	RIVERSIDE GROVE	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	o/s no 23, needs more work. Concrete in pipeline.
10/10/2023	1	RIVERSIDE GROVE	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	at jcn Riverside ave gully pitt blocked with concrete. Cctv done for repair.
10/10/2023	1	RIVERSIDE GROVE	3	0	<u>0</u>	<u>3</u>	GCCTV	CCTV Survey-Surface(3/Stretches 3/Abandoned-Main Needs Cleaning-Total Distance 19.35M)Plan 14
12/10/2023	1	RIVERSIDE PARK	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	o/s no 133, gully taken water but pipeline brokedown. Cctv done.
11/10/2023	1	RIVERSIDE ROAD	4	3	<u>0</u>	<u>0</u>	GCCTV	CCTV Training Surface(4/Stretches 1/Abandoned-Intruding Connection/Total Distance 249.9M)Plan B01
11/10/2023	1	RIVERSIDE ROAD	0	0	<u>0</u>	<u>0</u>	GCCTV	Sporadic Rainfall Through Morning
12/10/2023	1	RIVERSIDE ROAD	1	1	<u>0</u>	<u>0</u>	GCCTV	CCTV Surface/Training(1/Stretch 1/Completed-Total Distance 30.8M)Plan B01
16/10/2023	11A	CASINO PARK	39	35	<u>4</u>	<u>0</u>	DYN3	Road finished TM09
16/10/2023	11A	CHERRYMOUNT CRESCENT	7	6	<u>1</u>	<u>0</u>	DYN3	Road finished TM08
16/10/2023	11A	GRACE PARK HEIGHTS	35	30	<u>5</u>	<u>0</u>	DYN3	Road finished TM09 this work was completed on 26/09/23
19/10/2023	11A	GRACE PARK RD griffith ave-collins ave	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
20/10/2023	11A	GRACE PARK RD griffith ave-collins ave	1	1	<u>0</u>	<u>0</u>	SW 3	Heavy flood cleaned opp No 2
20/10/2023	11A	GRACE PK RD PL @ jcn of church ave	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding
20/10/2023	11A	GRACE PK RD PL opp 132 & each side	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding
20/10/2023	11A	GRACE PK ROAD PL @ jcn of griffith ave	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding
19/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	6	6	<u>0</u>	<u>0</u>	SW 6	No. 45-58 Floods Cleared. Ponding outside Griffith Wood For M.G
11/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	Jcn of grace park rd, gully working cctv done.
11/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	9	9	<u>0</u>	<u>0</u>	CRM	CQ outside house no 46 to 56 tm001
11/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	2	2	<u>0</u>	<u>0</u>	CRM	CQ outside house no 149 cleaned tm001
03/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	1	0	<u>0</u>	<u>1</u>	Jetting Crew A	at jcn grace park rd, needs traffic management plan.
19/10/2023	11A	GRIFFITH AVE malahide rd-swords rd	2	2	<u>0</u>	<u>0</u>	Smart Combi	Double Gully,just before Grace Park Rd Junct,Jetted Mains across the road,Cleared flood.
15/10/2023	11A	GRIFFITH AVE PL @ 48 & 5 each side	12	12	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
19/10/2023	11A	GRIFFITH AVE PL @ jcn grace park road	2	2	<u>0</u>	<u>0</u>	SW 6	Unable to clear floods . Jetted with Combi Unit.
02/10/2023	11A	GRIFFITH DOWNS	19	18	<u>1</u>	<u>0</u>	SW 1	TMD08.Road Complete. ,OSP
02/10/2023	11A	HAZEL ROAD	4	4	<u>0</u>	<u>0</u>	SW 1	TMD10.Road Complete.
27/10/2023	11A	HIGH PARK	28	26	<u>2</u>	<u>0</u>	SV 3	Cul de Sac.Road now Complete. ,OSP
31/10/2023	11A	HOLLY ROAD	3	3	<u>0</u>	<u>0</u>	DYN3	Road finished TM09
19/10/2023	11A	MALAHIDE RD collins ave-griffith ave	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	11A	MALAHIDE RD collins ave-griffith ave	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd

16/10/2023	11A	MALAHIDE RD INNER opp church	5	5	<u>0</u>	<u>1</u>	DYN3	Road finished TM08
16/10/2023	11A	OAK ROAD	6	6	<u>0</u>	<u>0</u>	DYN3	Road finished TM09
31/10/2023	11A	SEVEN OAKS	12	11	<u>1</u>	<u>2</u>	DYN3	Road finished TM08 all gullies have issues with roots
31/10/2023	11A	SION HILL ROAD	12	12	<u>0</u>	<u>0</u>	DYN3	Road finished TM09
16/10/2023	11A	SWORDS RD collins ave-griffith ave	0	0	<u>0</u>	<u>0</u>	DYN3	High speed road not done
19/10/2023	11A	SWORDS RD collins ave-griffith ave	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
31/10/2023	11A	SWORDS RD FT PATH GRIDS @ homefarm	2	2	<u>0</u>	<u>0</u>	Smart Combi	Had to get off,cycle track to busy.
16/10/2023	11A	SWORDS ROAD FT PATH GULLY	0	0	<u>0</u>	<u>0</u>	DYN3	Combi work
12/10/2023	11A	SWORDS ROAD FT PATH GULLY	0	0	<u>0</u>	<u>0</u>	Smart Combi	Griffith Ave to Viscount pub.Not there,please remove from this List.
02/10/2023	11A	THE CRESCENT	4	4	<u>0</u>	<u>0</u>	SW 1	TMD08.Road Complete.
02/10/2023	11A	THE GROVE	6	5	<u>1</u>	<u>0</u>	SW 1	TMD08.Road Complete. ,OSP
02/10/2023	11B	ANNADALE AVENUE	4	4	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	ANNADALE AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd
02/10/2023	11B	ANNADALE CRESCENT	14	12	<u>2</u>	<u>0</u>	DYN1	Ss-002 Road finished
01/10/2023	11B	ANNADALE DRIVE	27	26	<u>1</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	BRIAN AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	11B	BRIAN ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
02/10/2023	11B	BRIAN ROAD	19	17	<u>2</u>	<u>1</u>	DYN1	Ss-002 Road finished
09/10/2023	11B	CASINO RD PL at and opp 28 and each side	5	5	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
02/10/2023	11B	CLONTURK PARK PL all gullies	22	20	<u>2</u>	<u>0</u>	SW 3	TMD.08 Finished
01/10/2023	11B	CROYDON GARDENS	9	9	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	CROYDON GARDENS	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
02/10/2023	11B	CROYDON GREEN	12	12	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	CROYDON PARK AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
02/10/2023	11B	CROYDON PARK AVENUE	12	12	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
01/10/2023	11B	FOYLE ROAD	6	6	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	GRACE PARK RD richmond rd-griffith ave	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
02/10/2023	11B	GRACE PARK TERRACE	1	0	<u>0</u>	<u>1</u>	AGMan	PD - LIST OUTSIDE 71
17/10/2023	11B	GRACE PARK TERRACE	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	o/s no 71, gully working cctv done.
09/10/2023	11B	GRACE PK TERRACE LANE PL @ 75	5	5	<u>0</u>	<u>0</u>	SW 3	TMD.08 Finished
02/10/2023	11B	INVERNESS ROAD	6	6	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
19/10/2023	11B	MALAHIDE RD griffith ave-fairview	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
20/10/2023	11B	MALAHIDE RD griffith ave-fairview	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	11B	MALAHIDE RD griffith ave-fairview	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
02/10/2023	11B	MALAHIDE RD griffith ave-fairview	0	0	<u>0</u>	<u>0</u>	SW 3	Pick up Roly K bring him to Collect van from O'brien motors
02/10/2023	11B	MARINO GREEN	8	8	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
06/10/2023	11B	MARINO GREEN	0	0	<u>0</u>	<u>0</u>	DYN1	Taking pictures of broken gully for Mark Gleeson
19/10/2023	11B	MARINO GREEN	1	0	<u>1</u>	<u>0</u>	GCCTV	Gully blocked Needs jetting
19/10/2023	11B	MARINO MART	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	11B	MARINO MART	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
02/10/2023	11B	MARINO PARK	1	0	<u>0</u>	<u>1</u>	AGMan	PD - LIST JCN CROYDON PARK AVE
01/10/2023	11B	MARINO PARK	21	21	<u>0</u>	<u>1</u>	DYN1	Ss-002 Road finished
17/10/2023	11B	MARINO PARK	1	1	<u>0</u>	<u>0</u>	Jetting Crew A	at jcn Croydon park, gully working cctv done.
19/10/2023	11B	MARINO PARK AVENUE	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
01/10/2023	11B	MARNIO MART - laneway at wrights shop	1	1	<u>0</u>	<u>1</u>	DYN1	Ss-002 Road finished
18/10/2023	11B	MARNIO MART - laneway at wrights shop	1	0	<u>0</u>	<u>1</u>	Jetting Crew A	give to combi unit , Narrow lane.
02/10/2023	11B	MELROSE AVENUE	6	5	<u>1</u>	<u>0</u>	DYN1	Ss-002 Road finished
02/10/2023	11B	MERVILLE AVENUE	7	7	<u>0</u>	<u>0</u>	DYN1	Ss-002 Road finished
27/10/2023	11B	PHILIPSBURGH AVE PL @ st josephs terrace	1	1	<u>0</u>	<u>0</u>	SW 3	TMD.10 Finished
09/10/2023	11B	PHILIPSBURGH AVE PL at bus stop at shops	1	1	<u>0</u>	<u>0</u>	SW 3	TMD. 10 Finished
19/10/2023	11B	PHILIPSBURGH AVENUE	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	11B	PHILIPSBURGH AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
01/10/2023	11B	RICHMOND ROAD	50	50	<u>0</u>	<u>4</u>	DYN1	Ss-002 Road finished
20/10/2023	11B	RICHMOND ROAD	1	0	<u>0</u>	<u>1</u>	SW 3	O/s 59 gully type 8 unable to clear flood needs exchange
26/10/2023	11B	RICHMOND ROAD	0	0	<u>0</u>	<u>0</u>	CRM	Circle K,fill up with Diesel.
19/10/2023	11B	SAINT AIDAN'S PARK ROAD	1	0	<u>0</u>	<u>1</u>	GCCTV	Flooding present
31/10/2023	11B	SAINT DECLAN'S ROAD PL all gullies	14	12	<u>2</u>	<u>1</u>	SW 3	TMD.05 Finished
02/10/2023	11B	TORLOGH GARDENS	0	0	<u>0</u>	<u>0</u>	DYN1	OSP ,OSP
03/10/2023	11B	TORLOGH GARDENS	0	0	<u>0</u>	<u>0</u>	DYN1	OSP 3RD ATTEMPT ,OSP
02/10/2023	11B	WAVERLEY AVENUE	5	3	<u>2</u>	<u>0</u>	DYN1	Ss-002 Road finished

01/10/2023	11B	WINDSOR AVENUE	0	0	<u>0</u>	<u>0</u>	DYN1	OSP ,OSP
03/10/2023	11B	WINDSOR AVENUE	14	12	<u>2</u>	<u>2</u>	DYN1	Ss-002 Road finished all bucket work
02/10/2023	11B	WINDSOR VILLAS	4	3	<u>1</u>	<u>0</u>	DYN1	Ss-002 Road finished
20/10/2023	12	CASTLECOURT	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding all good
20/10/2023	12	CASTLECOURT	0	0	<u>0</u>	<u>0</u>	GCCV 4	2nd visit no flooding all good
19/10/2023	12	CASTLECOURT	0	0	<u>0</u>	<u>0</u>	GCCV 4	All good no flooding present
09/10/2023	12	CLANMOYLE RD PL all gullies	19	19	<u>0</u>	<u>0</u>	SW 3	TMD.08 Finished
19/10/2023	12	CLANMOYLE RD PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	12	COPELAND AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd
19/10/2023	12	COPELAND AVENUE	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	12	COPELAND GROVE	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
10/10/2023	13A	BAYMOUNT PARK	17	16	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
16/10/2023	13A	BELGROVE ROAD	12	10	<u>2</u>	<u>1</u>	SW 6	rd finished
16/10/2023	13A	BELGROVE ROAD PL all gullies	12	11	<u>1</u>	<u>1</u>	SW 3	TMD.05 Finished
17/10/2023	13A	BLACKHEATH COURT	2	2	<u>0</u>	<u>0</u>	SW 4	Road finished TM-002 ,OSP
16/10/2023	13A	BLACKHEATH COURT	2	2	<u>0</u>	<u>0</u>	SW 6	rd finished
16/10/2023	13A	BLACKHEATH DRIVE	6	6	<u>0</u>	<u>0</u>	SW 6	rd finished
31/10/2023	13A	BLACKHEATH GARDENS	2	2	<u>0</u>	<u>0</u>	SW 4	Road not finished parked cars ,OSP
27/10/2023	13A	BLACKHEATH PARK	25	25	<u>0</u>	<u>0</u>	SW 4	Road completed tmss002
20/10/2023	13A	BLACKHEATH PARK PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
19/10/2023	13A	BLACKHEATH PARK PL all gullies	1	1	<u>0</u>	<u>0</u>	SW 6	1 Flood Cleared
10/10/2023	13A	BLACKHEATH PARK PL all gullies	34	33	<u>1</u>	<u>1</u>	SW 3	TMD.05 Finished
17/10/2023	13A	BRIAN BORU AVENUE	4	4	<u>0</u>	<u>0</u>	SW 4	Road finished TM-002 ,OSP
26/10/2023	13A	BRIAN BORU AVENUE	4	4	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
26/10/2023	13A	BRIAN BORU STREET	6	6	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 ,OSP
23/10/2023	13A	CASTILLA PARK	12	12	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
23/10/2023	13A	CASTILLA PARK LANEWAY	3	3	<u>0</u>	<u>0</u>	SW 4	Road finished lane
23/10/2023	13A	CASTILLA PK LANEWAY @ 17	1	1	<u>0</u>	<u>0</u>	SW 4	Road finished laneway
20/10/2023	13A	CASTLE AVENUE	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	13A	CASTLE AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd
11/10/2023	13A	CASTLE AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
18/10/2023	13A	CASTLE AVENUE	29	29	<u>0</u>	<u>0</u>	SW 4	Road finished early morning and normal time ss002
19/10/2023	13A	CASTLE AVENUE	4	4	<u>0</u>	<u>0</u>	GCCTV	Gullies block with leaves Cleared outside 80 86 90 98
19/10/2023	13A	CASTLE AVENUE	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	13A	CASTLE AVENUE	1	1	<u>0</u>	<u>0</u>	SW 3	NEW P.L @Bus Stop 1772 @ Grave Yard. TMD. 10
20/10/2023	13A	CASTLE AVENUE PL courtview to kincora rd	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
12/10/2023	13A	CASTLE GROVE	12	12	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 ,OSP
18/10/2023	13A	CASTLE ROAD	6	6	<u>0</u>	<u>3</u>	SW 4	Road completed TMSS002 ,OSP
04/10/2023	13A	CHELSEA GARDENS	9	9	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
18/10/2023	13A	CLONTARF PARK	16	15	<u>1</u>	<u>1</u>	SW 4	Road completed TMSS002 ,OSP
18/10/2023	13A	CLONTARF RD INNER @ connollys pub	2	2	<u>0</u>	<u>0</u>	SW 4	Road completed TMSS002
20/10/2023	13A	CLONTARF RD PL castle ave-wooden bridge	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
19/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	Filled with diesel
20/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	SW 3	Heavy pooling at left hand turn onto howth Road due to construction in area path to high for water t
20/10/2023	13A	CLONTARF ROAD	2	2	<u>0</u>	<u>0</u>	GCCV 4	Flooding cleared jnc St Lawrence Rd and opposite house 70
19/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
27/10/2023	13A	CLONTARF ROAD	49	44	<u>5</u>	<u>4</u>	DYN3	Flood prevention against high tides corners done from clontarf garda Station to wooden bridge

19/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
11/10/2023	13A	CLONTARF ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
18/10/2023	13A	CLONTARF ROAD LANEWAY @ YACHT PUB	3	3	<u>0</u>	<u>0</u>	SW 4	Road completed TMSS002
05/10/2023	13A	CLONTARF ROAD PROMENADE	0	0	<u>0</u>	<u>0</u>	Smart Combi	Gone back to Drainage
20/10/2023	13A	CONQUER HILL RD PL 4 up to kincora rd	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
24/10/2023	13A	DOLLYMOUNT AVENUE	14	12	<u>2</u>	<u>1</u>	SW 4	Road completed tmss002 ,HDN,OSP
20/10/2023	13A	DOLLYMOUNT PARK	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	o/s no 73, surface mains blocked, full manhole opp no 73, give over to main drainage.
24/10/2023	13A	DOLLYMOUNT PARK	27	27	<u>0</u>	<u>6</u>	SW 4	Road finished ss002 cul de sac ,OSP
26/10/2023	13A	DOLLYMOUNT PARK	2	0	<u>0</u>	<u>0</u>	GCCTV	CCTV Survey-Surface(2/Stretches 2/Abandon Severe Turn And Pipe Reduced/Total Distance 14.7M)Plan B21
26/10/2023	13A	DOLLYMOUNT PARK	2	0	<u>0</u>	<u>0</u>	GCCTV	PUSH CAM/SURFACE(2/Stretches 2/Abandon-Out Of Cable/Total Distance 75.2M)Plan B21
26/10/2023	13A	DOLLYMOUNT PARK	0	0	<u>0</u>	<u>0</u>	GCCV 2	Bringing push cam over for paddy to use and wait for him to finish with it
04/10/2023	13A	DOLLYMOUNT PARK	0	0	<u>0</u>	<u>0</u>	SW 4	Regeneration
05/10/2023	13A	DOLLYMOUNT PARK	1	1	<u>0</u>	<u>1</u>	CRM	@73
09/10/2023	13A	DUNLUCE RD LANE at 25	8	8	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 laneway
09/10/2023	13A	DUNLUCE RD LANE at 32	1	0	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 laneway
09/10/2023	13A	DUNLUCE RD LANE at 62	1	1	<u>0</u>	<u>0</u>	SW 4	Road finished ss002laneway
09/10/2023	13A	DUNLUCE ROAD	38	36	<u>2</u>	<u>2</u>	SW 4	Road finished ss002 cul de sacs
16/10/2023	13A	DUNSEVERICK ROAD	19	19	<u>0</u>	<u>1</u>	SW 6	rd finished
10/10/2023	13A	FORTVIEW AVENUE	8	8	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
05/10/2023	13A	FORTVIEW AVENUE PL all gullies	8	6	<u>2</u>	<u>0</u>	SW 3	TMD.08 Finished
13/10/2023	13A	HADDON PARK	2	2	<u>0</u>	<u>0</u>	SW 6	Road finished ss002 ,OSP
24/10/2023	13A	HOLLYBROOK GROVE	14	13	<u>1</u>	<u>1</u>	SW 4	Road finished ss002 cul de sac ,OSP
24/10/2023	13A	HOLLYBROOK GROVE LANE strandville house	3	3	<u>0</u>	<u>0</u>	SW 4	Road finished laneway
12/10/2023	13A	HOLLYBROOK PARK	4	3	<u>1</u>	<u>0</u>	SW 4	Road finished ss0022 cul de ,OSP
12/10/2023	13A	HOLLYBROOK ROAD	2	2	<u>0</u>	<u>0</u>	CRM	CQ outside house no 64,cleaned @ 63 and opp closest gullies tm002
19/10/2023	13A	HOLLYBROOK ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
19/10/2023	13A	HOWTH RD all saints rd-fairview	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
12/10/2023	13A	HOWTH RD all saints rd-fairview	43	43	<u>0</u>	<u>1</u>	SW 4	Road finished ss0022 early morning and normal time ,TS
11/10/2023	13A	HOWTH RD all saints rd-fairview	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
11/10/2023	13A	HOWTH RD all saints rd-fairview	27	27	<u>0</u>	<u>2</u>	SW 4	Road not finished ss002 early morning and normal time ,TS
19/10/2023	13A	HOWTH RD all saints rd-fairview	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
20/10/2023	13A	HOWTH RD all saints rd-fairview	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
20/10/2023	13A	HOWTH RD all saints rd-fairview	1	1	<u>0</u>	<u>1</u>	SW 3	O/s 187 needs jetting already sprayed up swept water away from footpath very heavy pooling
20/10/2023	13A	HOWTH RD all saints rd-fairview	0	0	<u>0</u>	<u>0</u>	SW 3	Castle Court not on list but checked area after last flood event all clear at present
26/10/2023	13A	HOWTH RD all saints rd-fairview	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	o/s no 187, pitt needs cleaning. Early morning work.
26/10/2023	13A	HOWTH RD all saints rd-fairview	1	1	<u>0</u>	<u>1</u>	Jetting Crew A	o/s no 187, pitt needs cleaning. Early morning work.
18/10/2023	13A	HOWTH RD PL @ 150	1	1	<u>0</u>	<u>0</u>	SW 6	TMD.10 Finished
20/10/2023	13A	HOWTH RD PL @ 150	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
20/10/2023	13A	HOWTH RD PL @ 150	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods

18/10/2023	13A	HOWTH RD PL @ railway bridge	4	4	<u>0</u>	<u>0</u>	SW 6	TMD.05 Finished
20/10/2023	13A	HOWTH RD PL @ railway bridge	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
20/10/2023	13A	HOWTH RD PL @ railway bridge	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
20/10/2023	13A	HOWTH RD PL o/s & opp harry byrnes	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
20/10/2023	13A	HOWTH RD PL o/s & opp harry byrnes	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
18/10/2023	13A	HOWTH RD PL o/s & opp harry byrnes	2	2	<u>0</u>	<u>0</u>	SW 6	TMD.10 Finished
20/10/2023	13A	HOWTH RD PL o/s & opp venetian hall	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
20/10/2023	13A	HOWTH RD PL o/s & opp venetian hall	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
26/10/2023	13A	HOWTH RD PL o/s & opp venetian hall	9	9	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
20/10/2023	13A	HOWTH RD PL st lawrence rd-stiles rd	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
20/10/2023	13A	HOWTH RD PL st lawrence rd-stiles rd	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
18/10/2023	13A	HOWTH RD PL st lawrence rd-stiles rd	8	8	<u>0</u>	<u>0</u>	SW 6	TMD.05 Finished
19/10/2023	13A	HOWTH ROAD PL @ brookwood ave jcn	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
20/10/2023	13A	HOWTH ROAD PL @ brookwood ave jcn	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
20/10/2023	13A	HOWTH ROAD PL @ brookwood ave jcn	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
03/10/2023	13A	HOWTH ROAD PL @ brookwood ave jcn	1	1	<u>0</u>	<u>0</u>	SW 3	TMD.10 Finished
18/10/2023	13A	HOWTH ROAD PL fairview-copeland ave	20	16	<u>4</u>	<u>3</u>	SW 6	TMD.05 Finished
20/10/2023	13A	HOWTH ROAD PL fairview-copeland ave	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding present
18/10/2023	13A	KINCORA AVENUE	5	0	<u>0</u>	<u>5</u>	GCCTV	Cctv surface test (5/Stretches 5/Abandoned-Main Needs Cleaning-Total Distance 139,37M) Plan 01
17/10/2023	13A	KINCORA AVENUE	4	0	<u>0</u>	<u>0</u>	GCCTV	Cctv Survey surface 4stretches attempted Total 11.8 mtrs type bplan 001
26/10/2023	13A	KINCORA AVENUE	3	0	<u>0</u>	<u>2</u>	GCCTV	CCTV TEST SURFACE(3/Stretches 3/Abandoned-Main Needs Cleaning-Total Distance 13.15M)Plan B01
20/10/2023	13A	KINCORA AVENUE	28	28	<u>0</u>	<u>0</u>	SW 4	Rd finished tmp02 ,OSP
23/10/2023	13A	KINCORA COURT	32	31	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 cul de ,OSP
27/10/2023	13A	KINCORA DRIVE	19	19	<u>0</u>	<u>1</u>	SW 4	Road completed tmss002 ,OSP
17/10/2023	13A	KINCORA DRIVE	4	0	<u>0</u>	<u>0</u>	GCCTV	CctvSurvey surface Total 128.6 Mars type bplan 1
31/10/2023	13A	KINCORA RD PL 4 to & 4 after seapark rd	10	9	<u>1</u>	<u>0</u>	SW 3	TMD.05 Finished
20/10/2023	13A	KINCORA RD PL 4 to & 4 after seapark rd	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
06/10/2023	13A	KINCORA RD PL 4 to & 4 after seapark rd	6	5	<u>1</u>	<u>0</u>	SW 4	Road finished ssoo2 cul de sac ,OSP
27/10/2023	13A	KINCORA RD PL at & opp 18	4	4	<u>0</u>	<u>0</u>	SW 3	TMD.10 Finished
19/10/2023	13A	KINCORA ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	13A	KINCORA ROAD	2	2	<u>0</u>	<u>0</u>	GCCTV	Gullies blocked outside 3a Cleared
19/10/2023	13A	KINCORA ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
26/10/2023	13A	KINCORA ROAD	2	2	<u>0</u>	<u>0</u>	CRM	Road completed tmss002 at and opp 39 ,OSP
27/10/2023	13A	KINCORA ROAD PL opp 12 at laneway	2	2	<u>0</u>	<u>0</u>	SW 3	TMD. 10 Finished
19/10/2023	13A	MOUNT PROSPECT AVE PL @ 225	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
24/10/2023	13A	MOUNT PROSPECT AVE PL @ 225	1	1	<u>0</u>	<u>0</u>	SW 3	TMD. 10 Finished
11/10/2023	13A	MOUNT PROSPECT AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13A	MOUNT PROSPECT AVENUE	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
04/10/2023	13A	MOUNT PROSPECT AVENUE	37	37	<u>0</u>	<u>4</u>	SW 4	Road not finished ss002 early morning and normal time ,TS
05/10/2023	13A	MOUNT PROSPECT AVENUE	36	36	<u>0</u>	<u>4</u>	SW 4	Road not finished ssoo2 early morning and normal time
06/10/2023	13A	MOUNT PROSPECT AVENUE	25	25	<u>0</u>	<u>3</u>	SW 4	Road finished ssoo22 ,TS
19/10/2023	13A	MOUNT PROSPECT AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
12/10/2023	13A	MOUNT PROSPECT DRIVE	14	14	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 ,OSP
17/10/2023	13A	MOUNT PROSPECT GROVE	18	18	<u>0</u>	<u>0</u>	SW 4	Road finished TM-002 ,OSP
20/10/2023	13A	MOUNT PROSPECT LAWNS	16	16	<u>0</u>	<u>0</u>	SW 4	RD FINISHED TMP02 ,OSP
31/10/2023	13A	MOUNT PROSPECT PARK	10	9	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 ,OSP
18/10/2023	13A	OULTON ROAD	6	4	<u>2</u>	<u>0</u>	SW 4	Road completed TMSS002 ,OSP

19/10/2023	13A	OULTON ROAD	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
06/10/2023	13A	SAINT GABRIELS COURT	7	7	<u>0</u>	<u>0</u>	SW 4	Road finished ssoo22
09/10/2023	13A	SAINT LAWRENCE RD LANEWAY at 27	2	2	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 laneway
20/10/2023	13A	SAINT LAWRENCE ROAD	2	0	<u>0</u>	<u>2</u>	GCCTV	CCTV Survey-Surface(2/Stretches 2/Abandoned-Main Needs Cleaning-Total Distance 19.5M)Plan B01 X2
20/10/2023	13A	SAINT LAWRENCE ROAD	0	0	<u>0</u>	<u>0</u>	SW 3	Drop off Memory sticks CCTV Van
31/10/2023	13A	SEACOURT	20	20	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
26/10/2023	13A	SEAFIELD CLOSE	7	7	<u>0</u>	<u>1</u>	SW 4	Road finished ss002 cul de sac
05/10/2023	13A	SEAFIELD DOWNS	6	5	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
20/10/2023	13A	SEAFIELD RD EAST PL clontarf to seapark	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
19/10/2023	13A	SEAFIELD RD EAST PL clontarf to seapark	2	2	<u>0</u>	<u>0</u>	SW 6	2 Floods Cleared
24/10/2023	13A	SEAFIELD RD EAST PL clontarf to seapark	36	35	<u>1</u>	<u>2</u>	SW 3	TMD.05 Finished
19/10/2023	13A	SEAFIELD ROAD EAST	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
11/10/2023	13A	SEAFIELD ROAD EAST	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13A	SEAFIELD ROAD EAST	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	13A	SEAFIELD ROAD WEST	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	13A	SEAFIELD ROAD WEST	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
11/10/2023	13A	SEAFIELD ROAD WEST	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
17/10/2023	13A	SEAFIELD ROAD WEST	19	18	<u>1</u>	<u>1</u>	SW 4	Road finished ss002 ,OSP
05/10/2023	13A	SEAPARK DRIVE	19	19	<u>0</u>	<u>0</u>	SW 4	Road finished ssoo22 ,OSP
27/10/2023	13A	SEAPARK DRIVE LANEWAY @ side 76	0	0	<u>0</u>	<u>0</u>	SW 4	Road not finished parked cars
06/10/2023	13A	SEAPARK RD PL 4 at jun kincora rd	4	4	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
20/10/2023	13A	SEAPARK RD PL 4 at jun kincora rd	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
04/10/2023	13A	SEAPARK ROAD	23	22	<u>1</u>	<u>1</u>	SW 4	Road finished ssoo22 ,OSP
10/10/2023	13A	STRANDVILLE AVENUE EAST	5	5	<u>0</u>	<u>0</u>	SW 4	Road finished ssoo2 ,OSP
13/10/2023	13A	SUMMERVILLE	24	24	<u>0</u>	<u>0</u>	SW 6	Road finished ss002 cul de sac ,OSP
26/10/2023	13A	SYBIL HILL ROAD	17	17	<u>0</u>	<u>0</u>	SW 4	Road completed tmss002 early morning ,OSP
19/10/2023	13A	SYBIL HILL ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd
19/10/2023	13A	SYBIL HILL ROAD	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	13A	SYBIL HILL ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	13A	SYBIL HILL ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
10/10/2023	13A	THE OAKS	7	7	<u>0</u>	<u>0</u>	SW 4	Road finished ssoo2 cul de sac ,OSP
13/10/2023	13A	THE PADDOCKS	6	6	<u>0</u>	<u>0</u>	SW 6	Road finished ss002 cul de sac ,OSP
19/10/2023	13A	THE STILES ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
10/10/2023	13A	THE STILES ROAD	25	25	<u>0</u>	<u>2</u>	SW 4	Road finished ssoo22 ,OSP
19/10/2023	13A	THE STILES ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	13A	THE STILES ROAD	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
20/10/2023	13A	THE STILES ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
11/10/2023	13A	VERNON AVE clontarf rd-sybill hill	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13A	VERNON AVE clontarf rd-sybill hill	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	13A	VERNON AVE clontarf rd-sybill hill	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	13A	VERNON AVE clontarf rd-sybill hill	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
19/10/2023	13A	VERNON AVE sybill hill-castle ave	0	0	<u>0</u>	<u>0</u>	SW 1	No flooding present
11/10/2023	13A	VERNON AVE sybill hill-castle ave	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13A	VERNON AVE sybill hill-castle ave	0	0	<u>0</u>	<u>0</u>	GCCTV	No Flooding
19/10/2023	13A	VERNON AVE sybill hill-castle ave	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
17/10/2023	13A	VERNON COURT	5	4	<u>1</u>	<u>0</u>	SW 4	Road finished TM-002 ,OSP
06/10/2023	13A	VERNON DRIVE	8	8	<u>0</u>	<u>1</u>	SW 4	Road finished ss002 cul de sac ,OSP
26/10/2023	13A	VERNON GARDENS	6	5	<u>1</u>	<u>0</u>	SW 4	Road completed tmss002 ,OSP
19/10/2023	13A	VERNON GARDENS	1	1	<u>0</u>	<u>0</u>	CRM	CQ outside house no 21 cleaned tm002

23/10/2023	13A	VERNON PARK	15	15	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
09/10/2023	13A	VERNON RISE	13	12	<u>1</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac ,OSP
31/10/2023	13A	WOODSIDE	14	14	<u>0</u>	<u>0</u>	SW 4	Road finished ss002 cul de sac
03/10/2023	13B	AVONDALE PARK	2	2	<u>0</u>	<u>0</u>	GCCTV	CCTV Survey- Foul(2/Stretches 2/Completed-Total Distance 89.4M)Plan B01
03/10/2023	13B	AVONDALE PARK	2	0	<u>0</u>	<u>2</u>	GCCTV	CCTV Survey- Surface(2/Stretches 2/Abandoned-Main Needs Cleaning-Total Distance 84.2M)Plan B01
12/10/2023	13B	BETTYGLEN	9	9	<u>0</u>	<u>0</u>	CRM	CQ cleaned @ 132 and opp, 166 and opp, 162,149,l/s 30 doubles
27/10/2023	13B	BETTYGLEN	2	2	<u>0</u>	<u>1</u>	CRM	@70
31/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	2	2	<u>0</u>	<u>0</u>	GCCV 4	CRM flooding cleared at bridge
20/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	0	0	<u>0</u>	<u>0</u>	SW 4	Flood junction danelli rd
19/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
05/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	0	0	<u>0</u>	<u>0</u>	SW 4	Filled with diesel
11/10/2023	13B	HOWTH RD kilbarrack rd-all saints rd	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
02/10/2023	13B	HOWTH RD PL main st-watermill rd	12	12	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
11/10/2023	13B	JAMES LARKIN RD watermill rd-howth rd	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13B	JAMES LARKIN RD watermill rd-howth rd	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	13B	JAMES LARKIN RD watermill rd-howth rd	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
20/10/2023	13B	JAMES LARKIN RD watermill rd-howth rd	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
20/10/2023	13B	MAIN ST howth rd-watermill rd	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	13B	MAIN ST howth rd-watermill rd	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	13B	MAIN ST howth rd-watermill rd	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	13B	MAYWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
19/10/2023	13B	MAYWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	13B	MAYWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
12/10/2023	13B	MAYWOOD CLOSE	4	4	<u>0</u>	<u>0</u>	CRM	CQ cleaned @ house no 1 and opp doubles tm002
12/10/2023	13B	MAYWOOD CRESCENT	2	2	<u>0</u>	<u>0</u>	CRM	CQ cleaned @ l/s 17 and opp tm002
12/10/2023	13B	MAYWOOD GROVE	6	6	<u>0</u>	<u>2</u>	CRM	CQ cleaned @ house no 3 ,opp 3,19 and opp ,61,gullies @ 61 has roots double
20/10/2023	13B	MAYWOOD GROVE	2	2	<u>0</u>	<u>0</u>	Jetting Crew A	O/s no 61, gully working cctv done. Roots removed.
19/10/2023	13B	MAYWOOD PARK	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
11/10/2023	13B	MAYWOOD ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	13B	MAYWOOD ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
26/10/2023	13B	SAINT ANNE'S AVENUE	18	16	<u>2</u>	<u>2</u>	CRM	Road completed tmss002 ,OSP
26/10/2023	13B	WATERMILL ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	Regeneration
18/10/2023	13B	WATERMILL ROAD PL all gullies	33	32	<u>1</u>	<u>2</u>	SW 6	TMD.05 Finished
19/10/2023	13B	WATERMILL ROAD PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
17/10/2023	13B	WATERMILL ROAD PL all gullies	40	37	<u>3</u>	<u>2</u>	SW 3	TMD.05 Finished
05/10/2023	2	DONAGHMEDE ROAD	22	21	<u>1</u>	<u>4</u>	CRM	RD FINISHED TMP02
18/10/2023	2	DONAGHMEDE ROAD	1	1	<u>0</u>	<u>0</u>	CRM	CQ outside house no 76,cleared @ house 72 closest tm002
03/10/2023	2	ELTON DRIVE	2	2	<u>0</u>	<u>0</u>	GCCTV	CCTV Survey- Surface(2/Stretches 2/Completed-Total Distance 115.5M)Plan B01
19/10/2023	2	GRANGE RD kilbarrack rd to roundabout	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
20/10/2023	2	GRANGE RD kilbarrack rd to roundabout	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	2	GRANGE ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
26/10/2023	2	GREENWOOD CLOSE	4	1	<u>1</u>	<u>0</u>	CRM	Full street done there was no num 26 .. possible Irish water issue at num27. No obvious problem
23/10/2023	2	MILLBROOK GROVE PL @ 36 & 37	3	3	<u>0</u>	<u>0</u>	SW 3	TMD.08 Finished
03/10/2023	2	MILLBROOK ROAD	2	2	<u>0</u>	<u>1</u>	CRM	CQ outside house no 41 cleaned ,also 45 cleaned as it was blocked tm002
05/10/2023	2	NEWBROOK ROAD	32	32	<u>0</u>	<u>1</u>	CRM	RD FINISHED TMP02

26/10/2023	2	SAINT DONAGH'S ROAD	1	1	<u>0</u>	<u>1</u>	CRM	4 st donaghs road gully full of water and previously sprayed for jet some concrete removed
23/10/2023	3	FOXFIELD GREEN PL at and opp 4	4	4	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
17/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	TMD10.O/S House no 123,Cleaned and CCTV Complete,all in Order.
17/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	O/S House no 131,Cleaned and CCTV Complete,all 8n Order.
17/10/2023	3	FOXFIELD GROVE	0	0	<u>0</u>	<u>0</u>	Smart Combi	Fill up with water
17/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	O/S House no 130,Cleaned and CCTV Complete,all in Order.
17/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	O/S House no 115,Cleaned and CCTV Complete,all in Order.
17/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	O/S House no 114,Cleaned and Jetted,removed along of Concrete from the pipeline,more work needed.
17/10/2023	3	FOXFIELD GROVE	0	0	<u>0</u>	<u>0</u>	Smart Combi	Fill up with fresh water
13/10/2023	3	FOXFIELD GROVE	1	1	<u>0</u>	<u>0</u>	Smart Combi	TMD10.O/S House no 84,removed roots from gully,Jetted,more work needed,concrete in pipeline, ,OSP
20/10/2023	3	FOXFIELD GROVE	0	0	<u>0</u>	<u>0</u>	GCCV 4	Rd to be checked no flooding
19/10/2023	3	FOXFIELD RD PL @ howth rd jcn	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
26/10/2023	3	FOXFIELD RD PL @ howth rd jcn	5	5	<u>0</u>	<u>1</u>	SW 3	TMD.05 Finished
20/10/2023	3	FOXFIELD ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	3	FOXFIELD ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
11/10/2023	3	FOXFIELD ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
12/10/2023	3	GRANGE PARK WALK	2	2	<u>0</u>	<u>0</u>	CRM	CQ outside house no 9 and opp cleaned tm002
09/10/2023	3	GRANGE PK CRES PL @ grange pk rd hill	6	6	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
19/10/2023	3	GRANGE PK CRES PL @ grange pk rd hill	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	3	GRANGE PK RD PL hill down to cul de sac	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
02/10/2023	3	GRANGE PK RD PL hill down to cul de sac	7	7	<u>0</u>	<u>0</u>	SW 3	TMD.08 Finished
17/10/2023	3	HARMONSTOWN RD PL at bridge over river	3	3	<u>0</u>	<u>0</u>	SW 3	TMD.05 Finished
19/10/2023	3	HARMONSTOWN RD PL at bridge over river	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
20/10/2023	3	HARMONSTOWN RD PL at bridge over river	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
19/10/2023	3	HARMONSTOWN RD river-springdale rd	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
19/10/2023	3	KILBARRACK RD PL under bridge	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	3	RAHENY RD PL opp jcn springdale rd	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	3	RAHENY ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	3	RAHENY ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	3	RAHENY ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present n
20/10/2023	3	RAHENY ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
04/10/2023	3	ST MARGARETS AVE PL @ 12 & 5 on median	4	4	<u>0</u>	<u>0</u>	SW 3	Parked Legally
19/10/2023	3	ST MARGARETS AVE PL @ 12 & 5 on median	1	1	<u>0</u>	<u>0</u>	SW 6	1 Floods Cleared
20/10/2023	3	STATION ROAD	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
19/10/2023	3	STATION ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	Noflooding present
11/10/2023	3	STATION ROAD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	3	STATION ROAD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
11/10/2023	4	ABBEYFIELD	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	4	ABBEYFIELD	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
19/10/2023	4	ABBEYFIELD	1	1	<u>0</u>	<u>1</u>	SW 4	Flood junction danelli rd
11/10/2023	4	BROOKWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding
19/10/2023	4	BROOKWOOD AVENUE	1	1	<u>0</u>	<u>0</u>	SW 1	Flood cleared opposite 53 corner of Brookwood road
19/10/2023	4	BROOKWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	SW 4	No flooding present
31/10/2023	4	BROOKWOOD AVENUE	25	25	<u>0</u>	<u>2</u>	CRM	CRM from Brookwood rise to gracefield Rd complete Tm002
20/10/2023	4	BROOKWOOD AVENUE	0	0	<u>0</u>	<u>0</u>	GCCV 4	No flooding
20/10/2023	4	BROOKWOOD AVENUE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods
20/10/2023	4	BROOKWOOD AVENUE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding
19/10/2023	4	BROOKWOOD AVENUE PL all gullies	2	2	<u>0</u>	<u>0</u>	SW 6	2 Floods Cleared
03/10/2023	4	BROOKWOOD AVENUE PL all gullies	34	33	<u>1</u>	<u>3</u>	SW 3	TMD.05 Finished
31/10/2023	4	BROOKWOOD RISE	1	1	<u>0</u>	<u>0</u>	CRM	Flooding cleared at house 56
06/10/2023	4	BROOKWOOD RISE PL all gullies	17	15	<u>2</u>	<u>2</u>	SW 3	TMD.05 Finished
19/10/2023	4	BROOKWOOD RISE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
20/10/2023	4	BROOKWOOD RISE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 3	No flooding
20/10/2023	4	BROOKWOOD RISE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 3	No Floods

19/10/2023	4	BROOKWOOD ROAD PL @ all gullies	1	1	0	0	SW 6	1 Flood Cleared
20/10/2023	4	BROOKWOOD ROAD PL @ all gullies	0	0	0	0	SW 3	No Floods
23/10/2023	4	BROOKWOOD ROAD PL @ all gullies	11	10	1	0	SW 3	TMD.05 Finished
23/10/2023	4	CLANMAHON ROAD	2	2	0	0	CRM	CQ jnc with clanhugh Rd tm002
19/10/2023	4	CLANRANALD ROAD	0	0	0	0	SW 4	No flooding present n
11/10/2023	4	CLANRANALD ROAD	0	0	0	0	SW 4	No flooding
11/10/2023	4	COLLINS AVE howth rd-malahide rd	0	0	0	0	SW 4	No flooding
19/10/2023	4	COLLINS AVE howth rd-malahide rd	0	0	0	0	SW 1	Flood zone 1 no flooding present
19/10/2023	4	COLLINS AVE howth rd-malahide rd	0	0	0	0	SW 4	Noflooding present
19/10/2023	4	COLLINS AVE PL @ all gullies	0	0	0	0	SW 6	No Floods
05/10/2023	4	COLLINS AVE PL @ all gullies	47	41	6	4	SW 3	TMD.05 Finished
19/10/2023	4	DEMESNE	0	0	0	0	SW 4	No flooding present
19/10/2023	4	HARMONSTOWN RD brookwood ave-river	0	0	0	0	SW 4	No flooding present
11/10/2023	4	HARMONSTOWN RD brookwood ave-river	0	0	0	0	SW 4	No flooding
19/10/2023	4	HARMONSTOWN RD brookwood ave-river	0	0	0	0	SW 1	Flood zone 1 no flooding present
05/10/2023	4	KILLESTER AVE PL - railings collins ave	0	0	0	0	SW 3	TMD.10 Finished
19/10/2023	4	KILLESTER AVE PL - railings collins ave	0	0	0	0	SW 6	No Floods
20/10/2023	4	MCAULEY ROAD	3	3	0	3	GCCV 4	3 gullies needs camera work flooding present jnc gracefield ave
19/10/2023	4	MIDDLE THIRD	0	0	0	0	SW 4	No flooding present
12/10/2023	4	MOATFIELD AVENUE	1	1	0	1	Jetting Crew A	o/s no 66, needs more work, roots in pipeline.
12/10/2023	4	MOATFIELD AVENUE	1	0	0	0	Jetting Crew A	woman in no 66, wants her tree cut down. Can you call someone about it. Please.
20/10/2023	4	MOATFIELD ROAD PL from 13 to 17	0	0	0	0	SW 3	No Floods
04/10/2023	4	MOATFIELD ROAD PL from 13 to 17	16	16	0	0	SW 3	TMD.05 Finished
03/10/2023	4	QUARRY COTTAGES	2	2	0	0	CRM	CQ cottage no 1, cleaned double gully op cottage 1 on killester Ave, quarry cottages is private
19/10/2023	4	ROSEMOUNT AVENUE	0	0	0	0	SW 1	Flood zone 1 no flooding present
11/10/2023	4	ROSEMOUNT AVENUE	0	0	0	0	SW 4	No flooding
19/10/2023	4	ROSEMOUNT AVENUE PL all gullies	2	2	0	0	SW 6	2 Floods Cleared
23/10/2023	4	ROSEMOUNT AVENUE PL all gullies	20	18	2	1	SW 3	TMD.05 Finished
19/10/2023	5	BEAUMONT ROAD	0	0	0	0	SW 1	Flood zone 1 no flooding present
19/10/2023	5	BEAUMONT ROAD	0	0	0	0	SW 4	Flood junction danelli rd
20/10/2023	5	BEAUMONT ROAD PL at pumping station	0	0	0	0	SW 3	No flooding
31/10/2023	5	BEAUMONT ROAD PL at pumping station	11	11	0	0	SW 3	TMD.05 Finished
06/10/2023	5	BROOKVILLE PARK PL @ & opp 1 / 1A	5	5	0	0	SW 3	TMD.08 Finished
19/10/2023	5	COLLINS AVE malahide rd-swords rd	0	0	0	0	SW 4	No flooding present
19/10/2023	5	COLLINS AVE malahide rd-swords rd	0	0	0	0	SW 1	Flood zone 1 no flooding present
11/10/2023	5	COLLINS AVE malahide rd-swords rd	0	0	0	0	SW 4	No flooding
02/10/2023	5	COLLINS PARK	2	1	0	1	GCCTV	CCTV Survey-Surface Wad(2/Stretches 1/Abandoned-Main Needs Cleaning-Total Distance 184M)Public Walkw
19/10/2023	5	COLLINS PARK	0	0	0	0	SW 1	Flood zone 1 no flooding present
19/10/2023	5	COLLINS PARK PL @ all ramps	0	0	0	0	SW 6	No Floods
24/10/2023	5	COLLINS PARK PL @ all ramps	18	18	0	0	SW 3	TMD.05 Finished
19/10/2023	5	COOLOCK VILLAGE - MAIN ST	0	0	0	0	SW 1	Flood zone 1 no flooding present
19/10/2023	5	COOLOCK VILLAGE - MAIN ST	0	0	0	0	SW 4	No flooding present n
20/10/2023	5	COOLOCK VILLAGE - MAIN ST	1	1	0	1	GCCV 4	Pooing water needs jetting opposite l/s4 pannels
23/10/2023	5	ELM MOUNT AVE PL @ & opp 288	6	6	0	0	SW 3	TMD.05 Finished
19/10/2023	5	ELM MOUNT AVE PL @ & opp 288	0	0	0	0	SW 6	No Floods
24/10/2023	5	ELM MOUNT AVENUE PL at & opp 63	2	2	0	0	SW 3	TMD. 10 Finished
20/10/2023	5	KILMORE RD PL cul-de-sac near r/about	0	0	0	0	SW 3	No Floods
20/10/2023	5	KILMORE RD PL cul-de-sac near r/about	0	0	0	0	SW 3	No flooding
09/10/2023	5	KILMORE RD PL cul-de-sac near r/about	2	2	0	0	SW 3	TMD.08 Finished
20/10/2023	5	KILMORE RD PL opp cromcastle road	0	0	0	0	SW 3	No flooding
19/10/2023	5	KILMORE ROAD	0	0	0	0	SW 4	Noflooding present
19/10/2023	5	KILMORE ROAD	0	0	0	0	SW 1	Flood zone 1 no flooding present
11/10/2023	5	KILMORE ROAD	0	0	0	0	SW 4	No flooding
03/10/2023	5	LORCAN GROVE	4	4	0	0	CRM	CQ outside house no 7 cleaned double gully and opp tm002
20/10/2023	5	MALAHIDE RD tonlegee rd-collins ave	0	0	0	0	GCCV 4	No flooding
19/10/2023	5	MALAHIDE RD tonlegee rd-collins ave	0	0	0	0	SW 4	No flooding present
19/10/2023	5	MALAHIDE RD tonlegee rd-collins ave	0	0	0	0	SW 1	Flood zone 1 no flooding present
11/10/2023	5	MALAHIDE RD tonlegee rd-collins ave	0	0	0	0	SW 4	No flooding

26/10/2023	5	SHANTALLA ROAD	1	1	<u>0</u>	<u>0</u>	CRM	O/S House no 125, Checked & Cleaned, all in Order.
26/10/2023	5	SHANTALLA ROAD	16	16	<u>0</u>	<u>0</u>	GCCV 2	Shantalla Road bridge (flyover) all gullies full to the top (crm/cq)
11/10/2023	5	SWORDS RD oscar traynor rd-collins ave	1	1	<u>0</u>	<u>0</u>	Smart Combi	TMD05 Just before Bus stop no 1620, Cleaned, Jetted & CCTV Complete, all in order
11/10/2023	5	SWORDS RD oscar traynor rd-collins ave	1	1	<u>0</u>	<u>0</u>	Smart Combi	TMD05. Just after Bus Stop no 1620, Cleaned, Jetted & CCTV Complete, all in Order.
11/10/2023	5	SWORDS RD oscar traynor rd-collins ave	1	1	<u>0</u>	<u>0</u>	CRM	CQ outside house no 284 cleaned gully packed tm002
18/10/2023	5	SWORDS RD oscar traynor rd-collins ave	10	10	<u>0</u>	<u>1</u>	Smart Combi	TMD05. Gullies Deep and heavy with spoil, traffic getting heavy.
20/10/2023	5	SWORDS RD oscar traynor rd-collins ave	3	3	<u>0</u>	<u>1</u>	GCCV 4	Unable to clear flood @ I/s 103 opposite insomnia coffee mains up tripple gully rang Mark glesson
19/10/2023	5	SWORDS ROAD INNER @ comet pub	0	0	<u>0</u>	<u>0</u>	SW 1	Flood zone 1 no flooding present
04/10/2023	5	THE THATCH ROAD	4	4	<u>0</u>	<u>0</u>	CRM	CQ outside house no 90 and 102 cleaned opp also tm002
09/10/2023	5	THORNDALE DRIVE PL all gullies	21	20	<u>1</u>	<u>0</u>	SW 3	TMD.08 Finished
19/10/2023	5	THORNDALE DRIVE PL all gullies	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
19/10/2023	5	THORNDALE GROVE PL in cul de sac	0	0	<u>0</u>	<u>0</u>	SW 6	No Floods
02/10/2023	5	THORNDALE GROVE PL in cul de sac	14	14	<u>0</u>	<u>0</u>	SW 3	TMD.08 Finished

To the chairperson and members of
The North Central Area Committee

6th November 2023

Meeting: 20th November 2023

**Proposed grant of a 3 year licence for Café Unit, Bull Wall North, Clontarf, Dublin 3 to
Container Café Limited**

Container Café Limited operate at unit at Bull Wall North, Clontarf within lands recently acquired by the Council from Dublin Port Company, the unit is shown outlined in red and coloured pink on Map Reference SM-2023-0279. The Parks, Biodiversity and Landscape Services Department have requested the grant of a licence to Container Café Ltd for the continued operation of the café for 3 years, with the option to extend for a further 2 years.

It is therefore proposed that a licence be granted to Container Café Limited subject to the following terms and conditions, as agreed with Container Café Limited, and which the Chief Valuer considers fair and reasonable:

1. That the licenced property is shown outlined in red on Map Reference SM-2023-0279 and the area extends to approximately 168 sq.m.
2. That the Licensor will be prepared to grant a 3 year licence to the Licensee commencing on the 15th August 2023. The Licensee shall have the option to extend the Licence for a further 2 years at the expiry of the 3 year Licence.
3. That the licence fee shall be as follows:

Year 1: €14,500 (fourteen thousand five hundred euro) per annum plus VAT at 23%.
Year 2: €15,500 (fifteen thousand five hundred euro) per annum plus VAT at 23%.
Year 3: €16,500 (sixteen thousand five hundred euro) per annum plus VAT at 23%.
4. That the licence fee shall be exclusive of all outgoings and payable quarterly in advance by direct debit mandate.
5. That the licence fee shall be reviewed at the end of Year 3 of the licence to the market licence fee.
6. That the Licensee shall be responsible for all outgoings including rates, charges and fees that may become payable during the term of the licence.
7. That the licenced property is to be used solely for the purposes of a vending trade concession with the ancillary sale of associated products only. The Licensor shall not permit the property to be used for any other purposes nor be permitted to sell or consume alcohol.

8. That the Licensee shall request in writing if they wish to carry out any works to the property subject to approval by the Licensor. These works will be funded by the Licensee.
9. That the Licensee shall take out and produce to Dublin City Council, Public Liability Insurance in the sum of €6,500,000 (six million, five hundred thousand euro) and Employers Liability Insurance in the sum of €13,000,000 (thirteen million euro), for any incident with a recognised Insurance Company with offices in the State, and the policy shall indemnify the Council against all liability as owner of the property.
10. That the Licensee shall be responsible for any application and costs associated with any planning applications related to signage etc.
11. That the Licensee will ensure that the highest levels of Health and Safety Standards apply to the use of the property and ensure compliance with all relevant legislation.
12. That the Licensee shall keep the licensed area in a reasonably tidy condition during the licence period.
13. That the permitted business hours shall be 8am – 8pm Monday to Sunday.
14. That the Licensee will be required to sign a Deed of Renunciation, with the benefit of legal advice.
15. That prior to or at the termination of the licence the Licensee shall, at its own expense, remove all materials not belonging to the Council and shall leave the property in a clean and tidy condition to the satisfaction of the Council and to bear cost (if any) incurred by the Council in making good any damage caused.
16. That the Licensee will permit the Council, its officers, agents and workmen to inspect the premises at all reasonable times.
17. That the Licensee is not to do or allow to be done or permit any act or thing which is or is likely to be or become a nuisance, danger or source of annoyance, inconvenience of disturbance to the Licensor or the occupiers of neighbouring premises or to the public at large.
18. That the Licensee is to notify the Licensor forthwith in writing of every notice received at the premises from any statutory, local or sanitary authority and to comply therewith.
19. That the Licensee shall be prohibited from erecting any mast, hoarding or signage on the premises without prior written consent of the Council.
20. That in the event of the Licensee failing to comply with any of the terms and conditions herein contained, the Council may revoke the licence by giving the Licensee one month's notice in writing.
21. That the Licensee shall be responsible for the payment of VAT and any other taxes or charges which might fall due from the creation of the licence.
22. That each party shall be responsible for their own fees in this matter.
23. That the licence shall include any amendments and/or other conditions as deemed appropriate by the Council's Law Agent.

The dates for the performance of any of the requirements of the proposed agreement may be amended at the absolute discretion of the Executive Manager.

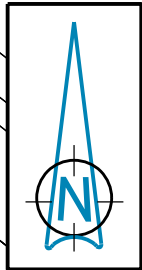
No agreement enforceable at law is created or intended to be created until an exchange of contracts has taken place.

Máire Igoe

9/11/2023

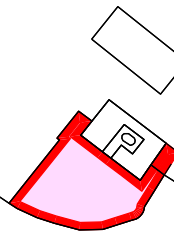
Máire Igoe
A/Executive Manager

Date



BULL ISLAND

NORTH BULL WALL



NORTH BULL WALL

Lands at

Dublin City Council to Container Café Ltd.

Grant of Licence

Area: 168m²



Comhairle Cathrach
Bhaile Átha Cliath
Dublin City Council

An Roinn Comhshaoil agus Iompair
Rannán Suirbhéireachta agus Léarscáilithe
Environment and Transportation Department
Survey and Mapping Division

O.S REF

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INDEX No

DWG No

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DATE

09-05-2023

SURVEYED /
PRODUCED BY

T. Curran

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SURVEY, MAPPING AND RELATED RESEARCH APPROVED

INDEX No.

SM-2023-0279

Dr JOHN W. FLANAGAN

CEng FIEI FICE

CITY ENGINEER

APPROVED

THOMAS CURRAN

ACTING MANAGER LAND SURVEYING & MAPPING

DUBLIN CITY COUNCIL

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To the chairperson and members of
North Central Area Committee.

3rd November 2023

Ref: LD/2951189/2023

Naming and Numbering - Proposal for a new development on a site at Clonshaugh House, Clonshaugh Road, Dublin 17

CDP Architecture on behalf of Salaport Ltd, have submitted a proposal for the naming and numbering of an apartment block on the site of Clonshaugh House, Clonshaugh Road. The proposed development will consist of the demolition of the existing two-storey dwelling on site and the construction of a five-storey building to provide for 36 no. apartments (17 no. one beds and 19 no. two beds) with balconies to the east and west elevations and communal open space, landscaping and boundary treatment, 29 no. car parking spaces, 123 no. bicycle parking spaces, bin storage, plant room and all associated engineering and site development works necessary to facilitate the development. The proposed development will also provide for the upgrade works to facilitate the proposed vehicular, pedestrian and cycle access and egress to the site via the Clonshaugh Road. This proposed development can be seen on the attached drawing index no **SM-2023-0620**.

The existing site already contained 1 no. House that was established and registered as Clonshaugh House. In line with the City Development Plan it is proposed to name the new development as follows:

Teach Chluain Seach, Bóthar Chluain Seach, Baile Átha Cliath 17
Clonshaugh House, Clonshaugh Road, Dublin 17

Numbering Scheme for apartment block:

Ground Floor	01 - 04
First Floor	05 - 12
Second Floor	13 - 20
Third Floor	21 - 28
Fourth Floor	29 - 36

The Heritage Officer has given approval for the name proposed.

I recommend approval of this naming and numbering proposal.

Derek Farrell
Acting Senior Executive Officer



TEACH CHLUAIN SEACH - No. 1 - 36

Map for Naming and Numbering



Comhairle Cathrach
Bhaile Átha Cliath
Dublin City Council

An Roinn Comhshaoil agus Iompair
Rannán Suirbhéireachta agus Léarscáilithe
Environment and Transportation Department
Survey and Mapping Division

O.S REF 3132 - 04	SCALE 1:1000
DATE 23-10-2023	SURVEYED / PRODUCED BY L. Butler

FILE NO	INDEX No	DWG No	REV
F:\SM-2023-0620 - 001 - A.dgn			

Dr JOHN W. FLANAGAN
CEng FIEI FICE
CITY ENGINEER

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SURVEY, MAPPING AND RELATED RESEARCH APPROVED

APPROVED _____
THOMAS CURRAN
ACTING MANAGER LAND SURVEYING & MAPPING
DUBLIN CITY COUNCIL

INDEX No.
SM-2023-0620

North Central Area Office,
Northside Civic Centre, Bunnary Road, Coolock, Dublin 17.

Oifig Ceantar an Lárthuaiscirt,
Ionad Cathartha an Taoibh Thuaidh, Bóthar Bun Raite,
An Chúlóg, Baile Átha Cliath 17.

T. 01 222 8847 E. lynda.drysdale@dublincity.ie



North Central Area Office

To the chairperson and members of
North Central Area Committee.

10th November, 2023

Ref: LD/2951193/2023

Naming and Numbering - Proposal for a new development on a site at 9/9a, Richmond Avenue, Fairview, Dublin 3

FKL Architects on behalf of Real Estate Acquisitions and Sales Limited have submitted a proposal for the naming and numbering of a new development on a site at 9/9a, Richmond Avenue, Fairview, Dublin 3, D03 DH66/D03 C6X9. The proposed development will consist of 28 no. residential units (25 no. 1 bed, 3 no. 2 bed) in 2 no. apartment buildings ranging in height from 3-6 storeys (east block fronting Richmond Avenue 6 no. storeys, west block to rear of site 3 no. storeys).. The development proposes the demolition of approx. 595 m2 of floor space comprising single storey industrial units. This proposed development can be seen on the attached drawing index no **SM-2023-0656**.

The heritage report prepared By Archaeology and Built Heritage on behalf of the developer, reports that Kathleen Clarke, the first female Lord Mayor of Dublin, would be suitable person to be commemorated on Richmond Avenue, as a former resident. However, Kathleen Clarke Place is the name of a recent development nearby. The suggested name for the development is:

Áras Uí Chleirigh, Ascaill Richmond, Fionnradharc, Baile Átha Cliath 3
Áras Uí Chleirigh, Richmond Avenue, Fairview, Dublin 3

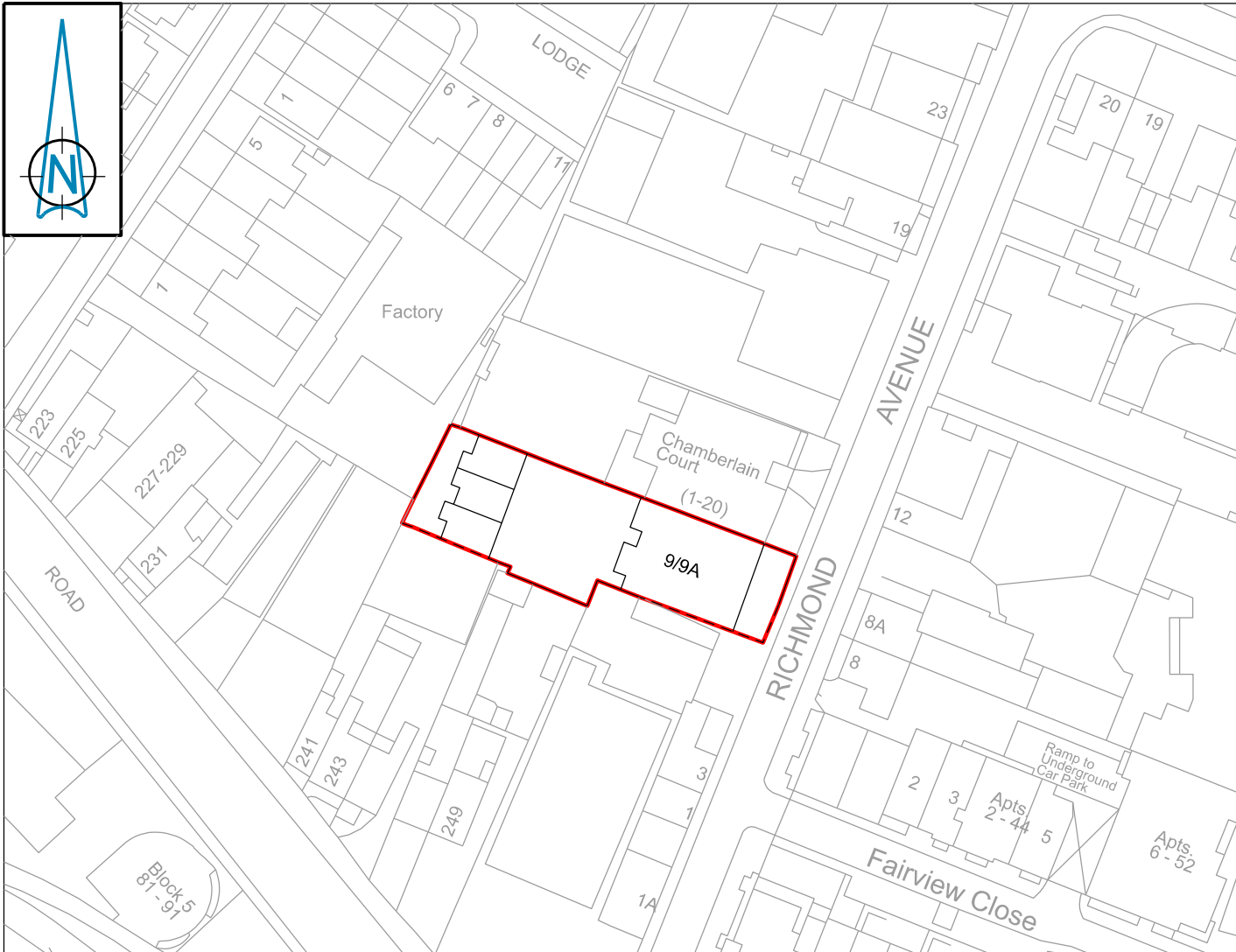
Numbering Scheme for Apartments

Áras Uí Chleirigh	
Ground Floor	1-5
First Floor	6-12
Second Floor	13-16
Third Floor	17-20
Fourth Floor	21-24
Fifth Floor	25-28

The Heritage Officer has given approval for the name proposed.

I recommend approval of this naming and numbering proposal.

Mick Carroll
Area Manager



ÁRAS UÍ CHLEIRIGH

Map for Naming and Numbering



Comhairle Cathrach
Bhaile Átha Cliath
Dublin City Council

An Roinn Comhshaoil agus Iompair
Rannán Suirbhéireachta agus Léarscáilithe
Environment and Transportation Department
Survey and Mapping Division

O.S REF 3198-12	SCALE 1:1000
DATE 10-11-2023	SURVEYED / PRODUCED BY L. Butler

INDEX No	DWG No	REV
FILE NO	F:\SM-2023-0656 - 001 - A.dgn	

Dr JOHN W. FLANAGAN
CEng FIEI FICE
CITY ENGINEER

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SURVEY, MAPPING AND RELATED RESEARCH APPROVED

APPROVED _____
THOMAS CURRAN
ACTING MANAGER LAND SURVEYING & MAPPING
DUBLIN CITY COUNCIL

INDEX No.
SM-2023-0656

Report to North Central Area Committee 20th November 2023

Re: Flooding In Clontarf on the 05th of August 2023.

Report prepared by Dublin City Council in conjunction with Nicolas O' Dwyer LTD

Executive summary:

In the wake of the extreme weather event of the 05th of August Dublin City Council commissioned Nicolas O' Dwyer LTD (NOD) to complete a review of the flooding event using recorded telemetry, rainfall data, information gathered by Dublin City Council Drainage Department, Irish Rail and eye witness records from Clontarf golf Club as well as affected residents in Auburn Apartments, Castle Court Road and 102 Howth Road. The purpose of this analysis was to inform Dublin City Council of the steps required to ensure such an event can be managed in the future without causing flooding to properties at Auburn Apartments and Castle Court.

The analysis has demonstrated opportunities to optimise the operation of the existing culvert and attenuation storage pond located at the Clontarf Golf Course. The system set up has now been modified to allow for additional flows within the culvert during a storm event, thus reducing the peak flow to the attenuation pond. The hydraulic model estimates that had the revised system set up been in place on the 05th of August the building flooding theoretically may not have happened, as the flows to the attenuation pond may have been managed and the attenuation pond may not have reached capacity and over spilled.

In addition to changes to the existing system operation, Dublin City Council has:

- upgraded the surface water network at 102 Howth Road, therefore removing a unforeseen restriction within the surface water network at this location;
- completed preliminary grading work and associated surveys within the Clontarf Golf Course to allow for the construction of additional storage/attenuation capacity within the area;
- increased operational monitoring of the Clanmoyle flood scheme;
- appointed NOD to complete the detailed design and procurement of a contractor to deliver the Phase 2 works, which include increasing the flow capacity of the existing Wad River under Howth Road and at the seafront.

The above actions ensure that a similar weather event to the one that occurred on the 05th of August can now be managed by the existing system.

1 Introduction:

Nicholas O' Dwyer Ltd (NOD) was originally, appointed by Dublin City Council to carry out a full catchment study of the Wad River in order to examine the hydraulic performance of the existing surface water drainage system and recommend works to improve flood protection within the Wad River catchment.

The study proposed:

- the construction of a flood routing culvert from Clanmoyle to Clontarf Golf Club and the construction of attenuation storage in Clontarf Golf Club (the 'Phase 1 Works'), and
- increasing the flow capacity of the existing Wad River culvert by constructing a new culvert across Howth Road and a new outfall culvert to the sea in Clontarf (the 'Phase 2 Works').

The flood attenuation pond was constructed in Clontarf Golf Course as part of the Clanmoyle Flood Relief Scheme in order to relieve flooding in the Clanmoyle Road and Collins Avenue East area. This was phase 1 of the proposed flood relief for the catchment and the pond controls were commissioned in 2017.

The remaining downstream works to increase culvert capacity at the Howth Road and Clontarf seafront are to be undertaken as part of Phase 2 and have not yet been completed. However, planning permission for Phase 2 was granted by An Bord Pleanála in September 2023 and Dublin City Council has appointed NOD to complete the detailed design and contractor appointment for phase 2 of the works.

1.1 System Catchment:

The Wad River drains a catchment area of approximately 483 hectares, including parts of Ballymun, Santry, Donnycarney, and Killester, discharging to the seafront at Clontarf in north County Dublin. The Wad River, originally an open channel, has been almost completely replaced with culverts and pipelines of varying dimensions over the 6 km route from Albert College Park on Ballymun Road to the seafront at Clontarf Road.

Flooding alleviation works were undertaken at Clanmoyle Road and Clontarf Golf Course during 2014-2017 to provide improved protection to properties at the Clanmoyle Road and Collins Avenue. These works included additional overflow chambers, large diameter pipes and the construction of an approximately 35,000m³ attenuation facility in Clontarf Golf Course.

The extent of the Wad catchment and the route of the main Wad River culvert is highlighted in Figure 1-1.

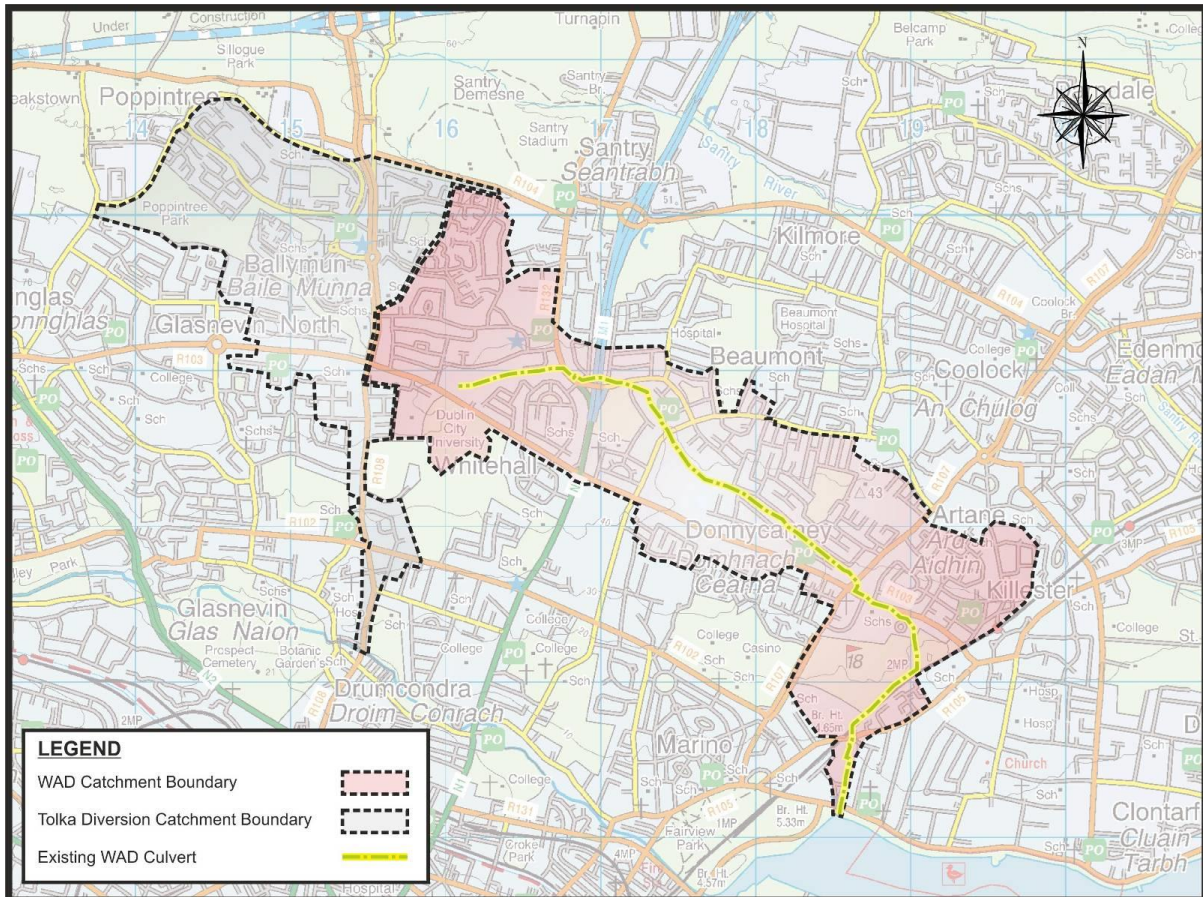


Figure 1-1: Previous and Existing Catchment Boundary, and Route of Wad River

In addition, during an extreme storm event the flows within the Wad Culvert is also influenced by the North Dublin Drainage System (NDDS), with a controlled overflow from the NDDS being discharges into the Wad Culvert. The extent of the NDDS catchment, which impacts on the Wad River is set out below:

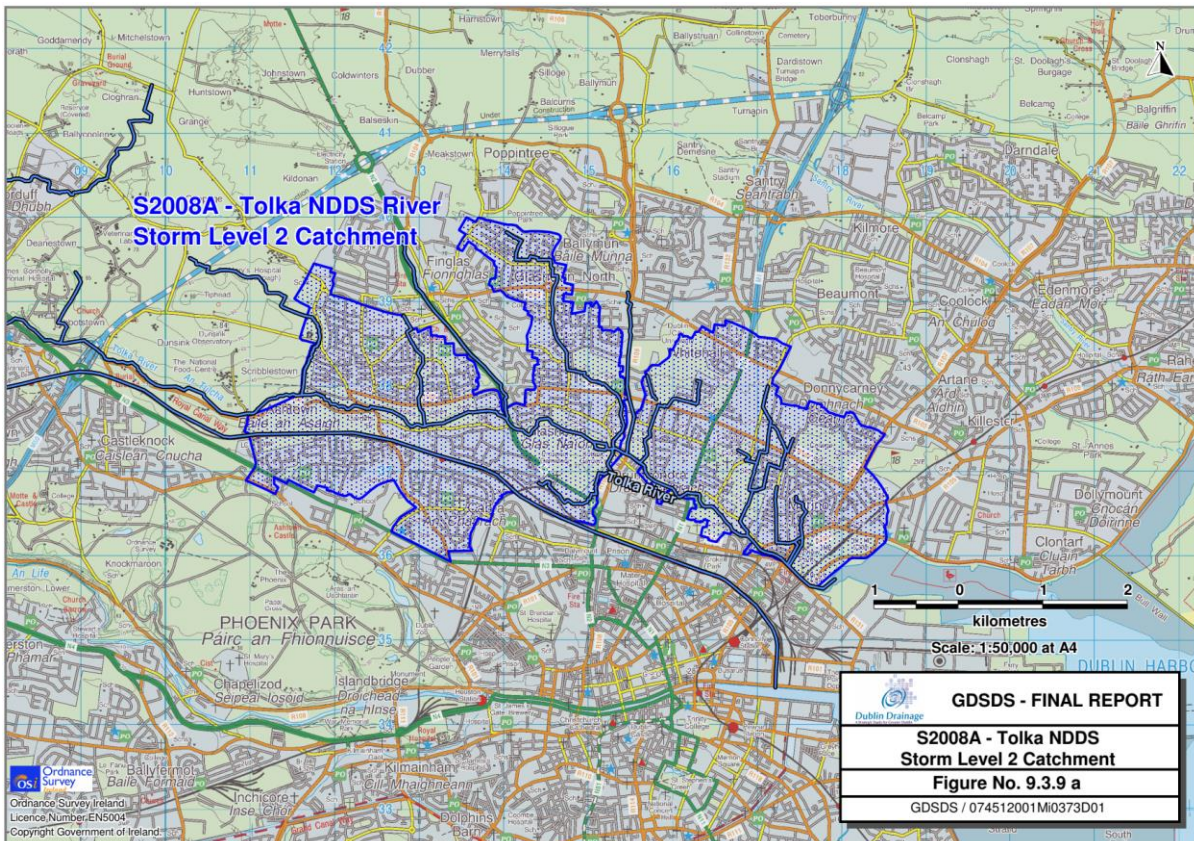


Figure 1-2: Boundary of Tolka NDDS storm level 2 catchment

1.2 Operation of the phase 1 flood scheme

1.2.1 Design of flood bypass culvert and Golf Course Storage Pond

The phase 1 flood works were designed to prevent flooding in Clanmoyle Road and Collins Avenue area and provide protection to manage flows within the downstream network in line with the system's capacity. The attenuation pond was constructed to provide sufficient storage capacity on an interim basis to protect the properties in Clanmoyle Road, Collins Avenue until the phase 2 works were completed and would provide protection for a 1 in 100 year fluvial storm with a high tide event.

The attenuation system comprises several elements in addition to the attenuation pond.

Flow Distribution Chamber (FD1)

The flow distribution chamber is upstream of the pond and contains a motorised gate on the main Wad pipeline, and an overflow pipeline which will take flows to the attenuation pond when an overflow occurs.

Flow Return Chamber 1 (FR1)

Flow Return Chamber 1 is on the outflow pipe from the attenuation pond. This chamber also contains a motorised gate which can prevent flow from the pond to the downstream network.

Flow Return Chamber 3 (FR3)

This chamber is located downstream of where the pipeline from FR1 re-joins the original Wad pipeline from FD1.

FD1, FR1 and FR3 are shown on figure 1-3 below.

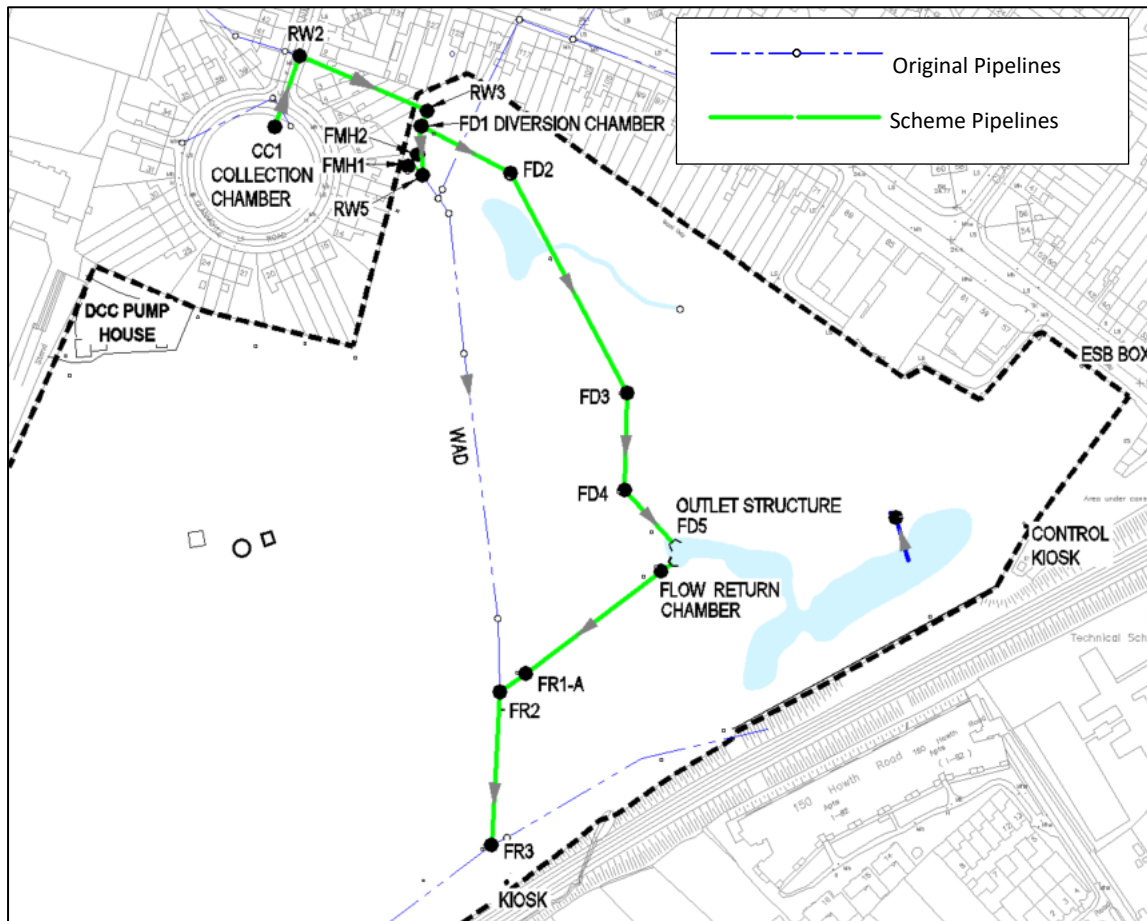


Figure 1-3: Attenuation system at Clontarf Golf Course

1.2.2 Operation

In normal circumstances the motorised gates at Flow Distribution Chamber (FD1) and Flow Return Chamber (FR1) are fully open and all flow continues in the main Wad pipeline with no flow diverted into the attenuation pond.

When the level sensor at the Howth Road detects levels have risen to the pre-set high level point the system becomes active and the motorised gates move to their initial positions of partially open for Flow Distribution Chamber (FD1) and fully closed for Flow Return Chamber (FR1). Thus during the storm event, the peak flows are diverted into the attenuation pond and the downstream culvert flow is maintained at a pre-set flow level. The Flow Distribution Chamber (FD1) motorised gate opens or closes in response to the measured levels at the Howth Road chamber. Thus controlling the volumes of flow diverted to the attenuation pond or allowed to continue downstream within the main Wad pipeline.

Once the Howth Road levels fall below the low level set point the Flow Distribution Chamber (FD1) gate reopens, and no flow is diverted to the attenuation pond. In addition the Flow Return Chamber (FR1) gate begins to slowly open to release the stored water to the downstream network.

1.3 This Report

Following the flooding event of 5th August and subsequent lesser storm event of 19th August, Dublin City Council commissioned NOD to carry out a review of the flooding event using recorded telemetry, rainfall data, information gathered by Dublin City Council Drainage Department, Irish Rail and eye witness records from Clontarf golf Club as well as affected residents in Auburn Apartments, Castle Court Road and 102 Howth Road.

The purpose of this analysis was to inform Dublin City Council of the required measures to ensure that a similar rainfall event could be managed in the future.

2 5th August recorded data

2.1 Storm Event 5th August 2023

Storm Antoni struck Ireland on August 5th bringing high winds and heavy rain to the east of the country. The Dublin City Council rain gauge at Clanmoyle Road recorded 56.8mm of rain between 10pm on August 4th and 9pm on August 5th. The heaviest rainfall recorded at a Met Eireann gauge on August 5th was 48.6mm at Dublin Airport. This rainfall followed an extremely wet July, following which Met Eireann has reported that the Phoenix Park rain gauge experienced its wettest July on the digital record (based on 82 years of digitised data back to 1941).

Following this heavy overnight rain on the night of August 4th/5th flooding occurred in Clontarf Golf Club, along the railway line and at Auburn Apartments and Castle Court in Clontarf. The flooding occurred very rapidly inundating the basement car park and some ground floor apartments in the apartment block, together with 18 houses in Castle Court and at the property at 102 Howth Road.

2.2 Wad and NDDS Catchment Rainfall

The Dublin City Council rain gauge at Clanmoyle Road recorded 56.8mm of rain between 10pm on August 4th and 9pm on August 5th. The peak intensity recorded in any of the 5-minute recording periods was 19.2 mm/hr from 5:35am to 5:40am.

2.3 Catchment Runoff

As part of the works carried out at Clanmoyle Road there are flow gauges installed at various locations in the system. In particular there are flow gauges installed upstream and downstream of the attenuation pond in Clontarf Golf Course, and there is a flow gauge installed downstream at the culvert below the Howth Road.

The recorded data (Figure 2-1) shows that the flows upstream of the Clontarf Golf Club pond increased steadily from approximately 0.3m³/s at 1am to approximately 2.5m³/s at approximately 4:45am. Flows then increased rapidly to more than 5m³/s by 5:15am.

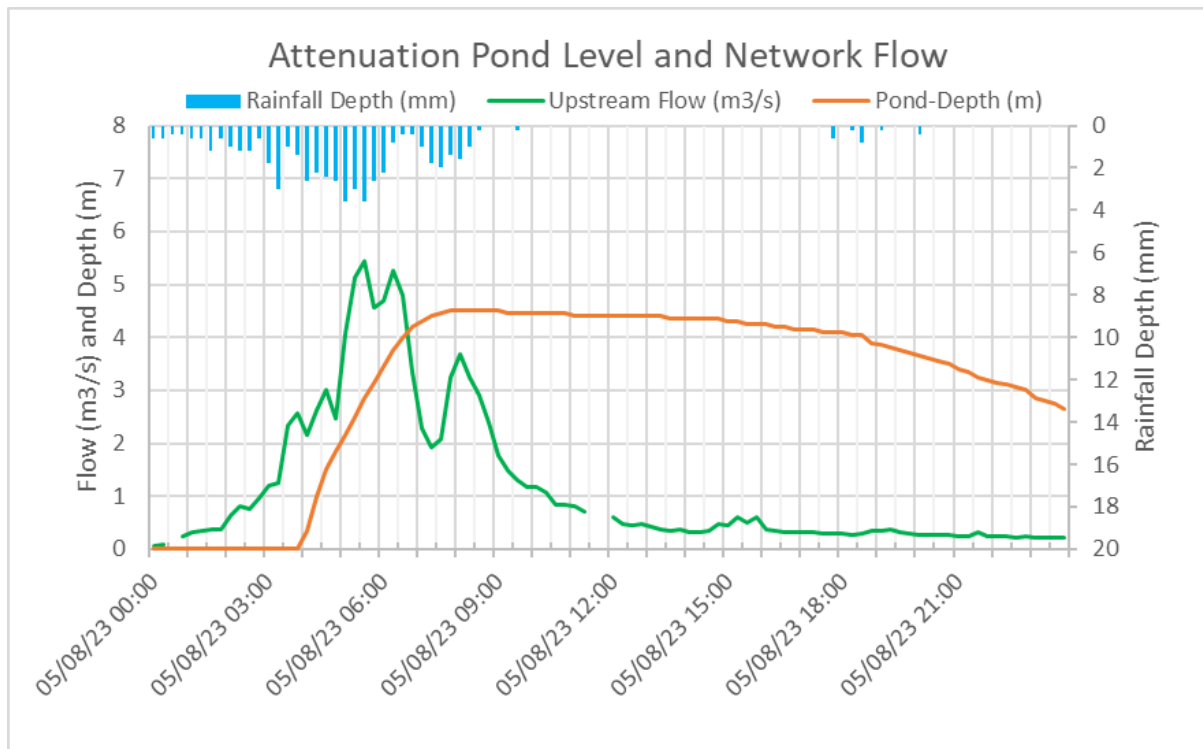


Figure 2-1: Recorded flows and pond levels

Based on the recorded data, the attenuation pond in the golf course started to receive flow at approximately 3:47am. Between 3:47am and 10am that same day approximately 70,000m³ of water was diverted into the attenuation pond.

The attenuation pond has a capacity of approximately 35,000 m³, so at approximately 7am the pond overflowed causing flooding of the golf course. At 8:05am the flooding on the golf course had reached the elevation of the recording instruments in the flow return chamber no. 3 (FRC3), recording a fault event as those recording instruments went offline. These instruments are for recording only and are not involved in controlling the attenuation system, so their loss did not impact the system operation.

The stored water escaped from the golf course onto the adjoining railway tracks via several low points in the boundary and via some potential seepage around the pond wall. Some flow also escaped via the old Wad culvert beneath the railway track. This joins into the trackside drainage and contributed to flooding of the railway line.

As water accumulated on the railway line it flowed southwest along the railway track following the gradient of the tracks. The ground level on the south side of the railway is initially high in the vicinity of the No. 150 Howth Road complex, and remains high into the Apartments at Ashbrook. Continuing southwest the houses at Ashbrook are at a level with the tracks but are protected by a solid wall between the tracks and the gardens. The ground surface at the next property southwards, the Auburn Apartments, is approximately 1m below the level of the tracks, and the divider between the apartments and the track is a wooden slat fence. The rear gardens of the adjoining Castle Court

houses are also approximately 2m below the level of the tracks and are likewise only separated from the tracks by a wooden slat fence.

At approximately 8:45 am the flood waters on the railway line came beneath and through the wooden fence, particularly at the rear of the Auburn Apartments, and flooded the surrounding landscaping. The basement car park of the Auburn Apartments has several large ground level ventilation openings at the rear and side of the building, and these allowed water to rapidly fill the car park.

Some flow was coming through the fences into the rear gardens at Castle Court by this time, however it appears that the main flow of flood water came around the northern side of the Auburn Apartments onto the road. This road is at a higher elevation than the houses on the northern side of the road so floodwaters flowed down the driveways of these houses and into the houses.



Figure 2-2 Sequence of flooding, 5th August 2023

2.3.1 Scheme performance on 5th August

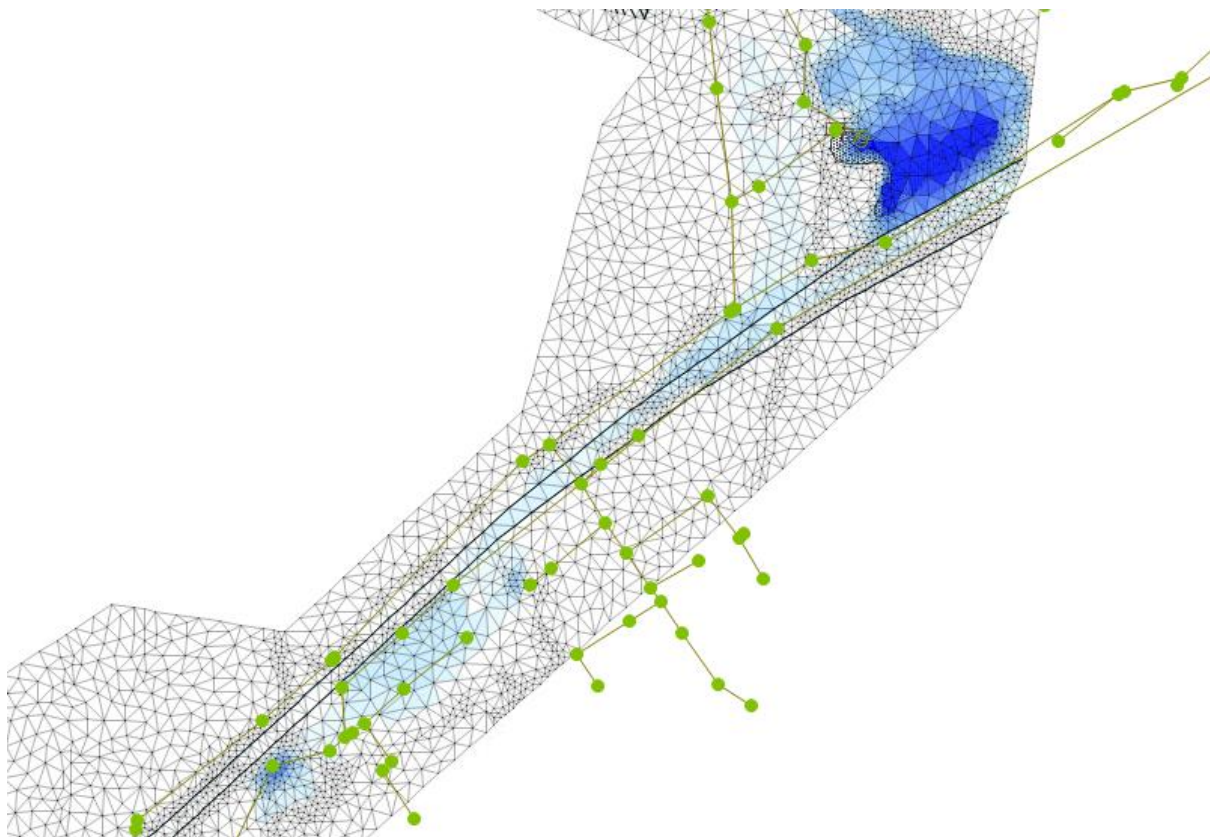
On the morning of 5th August the heavy rain caused the water levels at the Howth Road to increase above the setpoint at which the system enters active mode.

The motorised gate at Flow Distribution Chamber (FD1) became active at 3:47am and began to restrict flow into the downstream network by diverting it into the attenuation pond. The inflows to the Flow Distribution Chamber continued to increase for several hours after this. Due to the recorded water levels at the Howth Road the motorised gate fully closed to ensure the Howth Road levels did not exceed the set level.

By 7:45am the pond level had reached the bank level of the earthworks on the golf course and the pond overflowed into the course. At 8:05am the flow and level instruments at Flow Return Chamber (FRC3) went offline, indicating that water had reached the level of the instrument kiosk. These instruments are for recording only and are not involved in controlling the attenuation system, so their loss did not impact the system operation.

The Flow Distribution Chamber (FDC) gate remained fully closed until 2:37pm when the levels at the Howth road receded enough to allow flow to resume in the main Wad pipeline.

NOD has model the sequence of events which caused the flooding on the day and a screenshot of the model predicted flooding is shown below, which is in line with the flooding encountered on the day.



3 Recommendations, Actions Completed and Ongoing work.

3.1 Review of System performance

Using the hydraulic model as a design tool it is possible to optimise and increase the setpoints which control the system operation and to improve the functionality of the system. The improved functionality allows for a greater flow within the existing Wad Culvert, before the system enters active mode and allows for greater flows within the existing Wad Culvert during flood active mode, thus decreasing the flow to the attenuation pond and optimising its storage capacity. The design team has noted that there is a balance required between passing enough water to prevent the pond overflowing and retaining enough water to prevent flooding at the Howth Road. However, using the hydraulic model as a design tool NOD are satisfied that the setpoints can be increased to allow for the optimal performance of the system. NOD has issued revised setpoints for the system controls, which have been implemented within the control logic.

The hydraulic model estimates that had these setpoints been in place on the 05th of August the building flooding theoretically may not have happened, as the flows to the attenuation pond may have been managed and the attenuation pond may not have reached capacity and over spilled.

To ensure that the control system setpoint update is optimised, Dublin City Council in conjunction with NOD will undertake an iterative process involving review and updates of the settings after each storm event for the forthcoming 12-24 months, followed by ongoing review of the operation of the system after any large storm event. This will ensure that the system will operate to its optimum capacity into the future.

3.2 Upgrade to Surface Water Network at 102 Howth Road

The old course of the River Wad runs through the site at 102 Howth Road and while it's almost exclusively culverted in a pipe of at least 600mm diameter in size, there was a circa 10m long section below the basement at No.102 Howth Road which was only 450mm in diameter. In addition there was a section of open channel, of circa 10m long under the patio/decking at 102 Howth Road. Flood waters affecting the Castle Court/Auburn area (upstream) can only discharge and be relieved, by passing through the property at No.102 Howth Road. Therefore the 450mm culvert section represented a restriction on the capacity to drain flood waters from this area. Furthermore, the open channel section gave rise to a small but not insignificant risk of complete blockage of this watercourse which, if it occurred, would have major flooding implications for upstream and downstream properties.

Following the flood event of the 05th of August, our drainage crews in conjunction with an external contractor has now installed a 600mm culvert across the full extent of the site, ensuring that the maximum flow capacity is available in the network downstream from Castle Court and thus mitigating against the risk of further flooding in the upper catchment due to the surface water restriction.

3.3 Increased storage capacity within Clontarf Golf Course

We have now completed all the necessary survey works within the Clontarf golf club and adjoining areas. Our construction crews have also completed preliminary grading works within an area of the Clontarf golf course that has been identified as being suitable for the storage of storm waters during an extreme weather event.

We also have identified the additional construction work at the golf course boundary – particularly at the low points to ensure that any flooding which occurs on the golf course can be retained within the golf course as far as reasonably possible. The initial design calculations indicate the possibility of adding up to 8,500m³ of additional storage within the golf course. We are now working on the delivery solutions and associated costs to complete the works.

3.4 Update monitoring Programme

We have implemented enhanced monitoring of the Clanmoyle flood alleviation scheme, including ongoing monitoring of the attenuation pond level and rain gauges within the Wad catchment. This enhanced monitoring is being integrated into an updated action plan for our on call engineer responsible for the monitoring and management of flood events.

In brief the updated action plan will set out appropriate actions which can be undertaken by the on call team in response to rainfall and attenuation pond level alarms, allowing for actions to be taken prior to attenuation pond reaching capacity and possibly over spilling.

3.5 Progression of Phase 2 Work

We have appointed NOD to complete the detailed design and appointment of a contractor for the phase 2 works. NOD have been working on the detailed design and associated contract documents since September and it is anticipated that the design and procurement documents will be completed by the end of Q4 2023, with a view to commencing the tender process in early 2024 and the appointment of a contractor in Q2 2024.

James Nolan
Executive Manager Engineering

Appendix 1: Resident Queries RE Report on 18th September 2023

1. The report states: *'In order to deliver the culvert outlet at the seafront at Clontarf, Dublin City Council was required to seek planning approval from An Bord Pleanála. Dublin City Council submitted the application in July 2022 and has subsequently responded to requests for further information from the board in November 2022. The Board granted approval for the scheme on the 04th of September 2023.'*

This prompts a couple of Qs:

- a. Bearing in mind, yesterday's initial report commences with the sentence: *"As a result of flooding events, which occurred in August 2008, July 2009 and October 2011..."*, when did DCC start seeking planning approval from An Bord Pleanála to deliver the Culvert outlet at the seafront?

The City Council commenced the planning process in respect of the scheme in 2012, utilising the public consultation procedure required under Part 8 of the Planning Regulations. Following advice from our engineering and planning consultants, we were required to make a submission to An Bord Pleanála (ABP) in respect of the scheme due to the potential environmental impact of the new outfall culvert to the sea in Clontarf. This Part 20 Application to ABP was due to changes in environmental legislation following the Part 8 approval in 2012. This Part 20 involved the procurement of various environmental surveys during 2021 and 2022 to support this application. These were managed and assessed before submission of the Application in July 2022.

- b. Can the word "subsequently" be clarified in terms of providing a precise date for when DECC replied to ABP?

The City Council replied to ABP in November 2022.

2. Can DCC provide clarity around the timeline for the completion of the 'phase 2 works' that were granted on Sept 4th. Is completion in 2024 guaranteed, or are there further planning obstacles that need to be overcome?

There are no further statutory consents required in advance of delivering the project. The City Council has now appointed Nicolas O' Dwyer to complete the detailed design and to appoint a contractor to complete the works. It is anticipated that the works at the Howth Road will be completed in Q2 2024, with the works at the sea front being completed in Q3 2024, due to environmental restriction on when these works can be completed.

3. *"The City Council has already engaged with Clontarf golf course with a view to retaining addition storm waters within the golf course and eliminating flows via the culvert under the railway or onto the railway line. Survey work is currently being carried out to ensure that that these measures provide additional capacity and do not result in any unintended consequences."*

This statement is not at all reassuring. Is this not a case of doubling down on the existing approach that led to the direction of water from the golf course into the Auburn car park &

Castle Court in August during extreme rainfall? Where is the culvert under the railway located and can this culvert be relocated or directed away from Castle Court & Auburn?

The intention is to remove the flow path from the golf course via the railway line to the Auburn apartment and Castle Court, by creating an impermeable boundary along the railway line and thus retaining any storm waters within the golf course.

4. The full review of the catchment & drainage networks will take another 6 weeks. Does this mean that further, more substantial measures for flood risk management in this catchment area are being considered in addition to what is included in the initial report?

In order to ensure that the appropriate long term flood protection is in place the City Council need to ensure we have completed the appropriate due diligence, this requires a complete review of the catchment and drainage network. It does not necessarily mean that there will be a requirement for additional measures to manage the flood risk within the area.

5. The query is about the possibility of Blackwater contamination from the flood in both Auburn apartments and Castle Court. Can you please advise if Dublin City Council can provide a specialist in this field to ensure the Health and Safety of all residents? This is one of the priorities.

The City Council is in the process of procuring the necessary environmental testing to ensure that the properties can be reoccupied.

6. We obviously need to have a clear understanding of the planned works by Dublin City Council to eliminate the risk in the medium to long term and the timescales for delivery. Further to this if the Auburn Apartment Block cannot get insurance what process is in place to get cover?

Following an analysis of the event of the 05th of August, Dublin City Council has undertaken the following actions:

The control system which manages the operation of the attenuation pond within the Clontarf golf course has been modified to allow for additional flows within the culvert during a storm event, thus reducing the peak flow to the attenuation pond. The hydraulic model estimates that had the revised system set up been in place on the 05th of August the building flooding theoretically may not have happened, as the flows to the attenuation pond may have been managed and the attenuation pond may not have reached capacity and over spilled.

In addition to changes to the existing system operation, Dublin City Council has:

- *upgraded the surface water network at 102 Howth Road, therefore removing a unforeseen restriction within the surface water network at this location;*
- *completed preliminary grading work and associated surveys within the Clontarf Golf Course to allow for the construction of additional storage/attenuation capacity within the area;*
- *increased operational monitoring of the Clanmoyle flood scheme;*
- *appointed NOD to complete the detailed design and procurement of a contractor to deliver the Phase 2 works, which include increasing the flow capacity of the existing*

Wad River under Howth Road and at the seafront. These works are due to completed by September 2024.

7. We have been informed that to move electrical services from the basement Auburn apartments to ground level for flood remediation will not be covered by insurance and will have a considerable financial impact and hardship on residents with estimate cost of €35,000 - €40,000. Given the issue arose from the failure of Dublin City Council to deliver the remedial action which would have prevented flooding in the first instance we are seeking financial commitment for payment of remedial works not covered by insurance.

Any such claims being made against Dublin City Council will be investigated and assessed via Dublin City Council's claims department, which can be contacted at law@dublincity.ie

Date: 01/11/2023

**To: The chairperson and members of
North Central Area Committee**

Discretionary 2023- Interim Update

Improvement works in Senior Citizen Complexes:-€70,000

- Lismeen Grove – New CCTV to be installed
- Hampstead Court- Landscaping works to commence
- Hampstead Court- Supply of a furniture of community room
- Gorsefield Court – Landscaping works to commence
- St Luke’s Court- Landscaping works to commence
- Kilbarron Court- Landscaping works to commence
- Domville Court- Deep cleaning of communal internal space.
- Thorndale Court- Deep clean of Community Room carried out.
- St Gabriel’s Court- Deep clean of Community Room carried out.
- St Brigid’s Court- Deep clean of Community Room carried out.
- Raheny Court- Deep clean of Community Room carried out.
- Rosevale Court- Deep clean to be carried out.
- Greendale Court- Bench & Planter installed here.
- Clanmaurice Court- Storage Shed installed.
- St Gabriel’s Court- Storage Shed installed

Initiation of a number of gardening programmes in the seniors complexes to improve their aesthetic appeal within Clontarf Donaghmede.

Enhancement of the St. Gabriel’s Court complex overall lighting with particular focus on the entry driveway.

Public Domain Works:-€218,000

Signage / Benches

Six benches ordered and due to be installed late October/November in Clontarf and Elm Mount

Signs installed at the Donahies and signage replaced and repaired at Newbrook Road Donaghmede.

Signage repaired and installed at Killester Village

Hanging baskets

Hanging baskets installed and maintained with Spring/Summer bedding at locations at Donnycarney West at Shops at Malahide Road and Collins Ave shops at Bingo Hall Whitehall.

Art on Utility boxes

All 14 boxes for 2023 have been painted and finished.

Graffiti

Graffiti removal and over painting is ongoing on a daily basis in North Central area and on Budget.

Halloween

Plans and crews organised for this Halloween involving Waste Management, Parks Dept, Housing section and Private contractors. Removal of stockpiled pallets, tyres etc and the clean up afterwards.

Planters/Raised beds

Planters rolled out around various areas in North Central Area with a Raised bed installed at Junction of Glandore Road and Griffith Ave

Miscellaneous clean ups.

Ongoing.

Composting Workshops

Workshops are ongoing and have been extremely popular. (21 groups have been involved and are now composting leaves locally).

R139 Litter Pick.

Fortnightly litter pick ongoing.

Community & Social Development – Artane / Whitehall LEA:-€10,000

Kilmore West Youth Project - Contribution towards their junk yard fashion show.

The Dales, Darndale - This funding was a contribution towards Recovery Month events.

Kilmore Halloween Events – Contribution towards Halloween entertainers.

Community & Social Development – Donaghmede/Clontarf:-€10,000

Inclusion and Integration day Bram Stoker Park 7th October 2023

Event Management:-€180,000

Events at Halloween

- Marino Crescent
- Fr Collins park
- Donaghmede park
- Roseglen
- Edenmore park
- Kilmore
- Darndale

Contributions towards:-

Vantastic €25,000

Family Mediation & Law Centre €10,000

Boxing and Rugby Officer €25,000

Community Café, Raheny €5,500

Clontarf Promenade: - €185,000

Phase 2 Realt Na Mara - Tender documents being prepared.

Linear Shelter- Tender documents being prepared. The Council is the registered freehold owner of the land on which the linear shelter is located

Bandstand Shelter- Land registry search to establish ownership is ongoing

Marino AFC: - €25,000

Marino AFC for works to pitch: Parks are currently working on the upgrade of pitch

Marino AFC for works to clubhouse: Contractors have given estimates to the value of €27,000 and work will begin shortly

Scouts: - €7,500

Contribution made to 5th Port Dollymount Sea scouts for works to premises

Contribution made to Fairview Scouts for works to premises and equipment

Funding for the Killester Blooms Community Garden:-€7,500

- Shed provided to group
- Financial Contribution made
- Application made to Uisce Eireann for water main connection for tap.

Fairview / Marino Men's shed equipment: Community Section has linked in with Men's Sheds and contributed with equipment

Marino Neighbourhood Scheme (traffic management):- €30,000

Mucky Lane Community Garden: Gate installed

Green area at Howth Junction DART Station (Carndonagh Lawn/St Donagh's Road): for significant Environmental Enhancement Projects: Public Domain will commence project shortly

Extensive Tree planting of new sapling trees in all greens in the Donaghmede Ward: NCA Office sought nurseries for quotations from nurseries

Edenmore Enhancement Project €18,000: Hanging baskets on poles installed.

Kilbarrack Coast Community Programme: Community Development have contributed towards KCCP's Summer Fun Day, towards their Halloween event and will give a contribution to KCCP's Christmas lunch for seniors in Naomh Barróg.

Creative play opportunities - Donaghmede Park: Recreate Ireland facilitated a work shop in Rockfield Park to explore Creative Play opportunities. Community Development paid the consultation fee.

Storage Unit for Clongriffin Athletics Club in Fr. Collins Park: Completed

Raheny Tidy Town - Community Garden: Community Development contributed towards Poly tunnel

Ard Na Greine Ayrfield 50 Years: Community Development contributed towards 50th Anniversary Celebrations.

Shop front improvement scheme: Applications are being examined.

Landscaping features for corner of Edenmore crescent and Park: Discussions ongoing with local residents about project. €5,000

Re-green open space at corner of Briarfield Grove which greening was done with substandard soil and which will not grow anything: Works completed €5,000

Darndale IOG Discretionary Money

Halloween Festival –Stage, amusements & children’s parade with lanterns

Pop up Garden- Completed

Winter Hanging baskets---Awaiting Quotation

Welcome sign-Granite-Awaiting Quotation

Numerous site clean-ups- completed

Kilmore Playground: - €100,000

Funds transferred to Parks

The tenders for the proposed playground at Kilmore West have been received and assessed. The tenderers have been contacted and advised of the outcome of the assessment. At the end of the 2 week statutory standstill period the preferred tenderer will be appointed and local consultees can be contacted. Once these follow up consultations have been completed a timeframe for delivery can be agreed.

Beaumont Residents' Association at Coolgreena Community Garden: - €4,000

NCA office contributed towards several works in the community garden

Mural in Laneway at Shanard Road Shops: - €10,000

Considering different use for this funding with Councillor.

McAuley Park Playground (2022 Discretionary Budget):-€75,000

Similarly the funding for this playground was transferred to Parks. The tenders for the proposed playground have been received and assessed. The tenderers have been contacted and advised of the outcome of the assessment. At the end of the 2 week statutory standstill period the preferred tenderer will be appointed and local consultees can be contacted. Once these follow up consultations have been completed a timeframe for delivery can be agreed.

Teen Scene at Ellenfield Park (2022 Discretionary Budget)

The Ellenfield teen space has been assigned to the contractor and work is due to start in the coming weeks on site. Community section considering developing a mural here also with teenagers input.

Date: 01/11/2023

To: The chairperson and members of
North Central Area Committee

**PUBLIC DOMAIN TEAM UPDATE FOR THE
NOVEMBER MEETING OF THE NORTH CENTRAL AREA COMMITTEE**

Citizen Hub Stats for October:

Process	Closed	Open	Total
Abandoned Vehicle	9	11	20
Bonfire Materials	83	19	102
Community Clean Up Collection	115	0	115
Illegal Dumping	83	0	83
Litter Offence	6	0	6
On Street - Weed Control	0	3	3
Public Bin Maintenance	192	0	192
Report a Dead Animal	12	0	12
Report Fallen Leaves	36	0	36
Report Graffiti	2	3	5
Request a Dog Fouling Sign	0	4	4
Street Cleaning Sweep Your Street	45	0	45
Grand Total	583	40	623

Illegal Dumping	Closed	Open	Total
Abandoned bins	3	0	3
Abandoned trolley	4	0	4
Dumped (Labelled)	2	0	2
Dumped bags (Not labelled)	40	0	40
Fly tipping	10	0	10
Hazardous Waste	1	0	1
Household Junk	11	0	11
Other	12	0	12
Grand Total	83	0	83

Halloween:

Halloween Stockpiling removed from Edenmore:



Clearance of bonfire materials from Castletimon Gardens:



Autumn Leaf Fall & Composting Workshops:

21 Leaf Composting Workshops have been organised for autumn 2023, to support communities who want to make free peat free compost for use in their areas. These workshops commenced on Saturday 21st October and will run until Sunday 12th November. The workshops are important, as they teach communities the correct way to make leaf mould compost. Each community receives an introductory online session, a 2 hour hands on workshop with Dr. Compost in their area, a maximum of 8 leaf baskets, a pitch fork, a watering can and signs for their baskets. This initiative supports Climate Action & the Circular Economy.



Graffiti:

Graffiti was removed from a number of locations right across the area. Some examples include the walls of Killester Bridge & a utility box in Artane.

Killester Bridge



Artane



Planters:

The public domain team upcycled and relocated 2 tiered planters to a retail area in Artane along the Malahide Road. We have been working closely with Artane Tidy Group to clean up and enhance this space. The containers were planted up by the group with pollinator friendly plants supplied by us.



A new wooden PACE planter box was also ordered for Castleview Estate to match the one they already had, as a reward for all of their hard work cleaning and developing their area and a beautiful new red penny farthing planter was given to Tuscany Downs Environmental Group to reward them for all of their hard work enhancing their green space



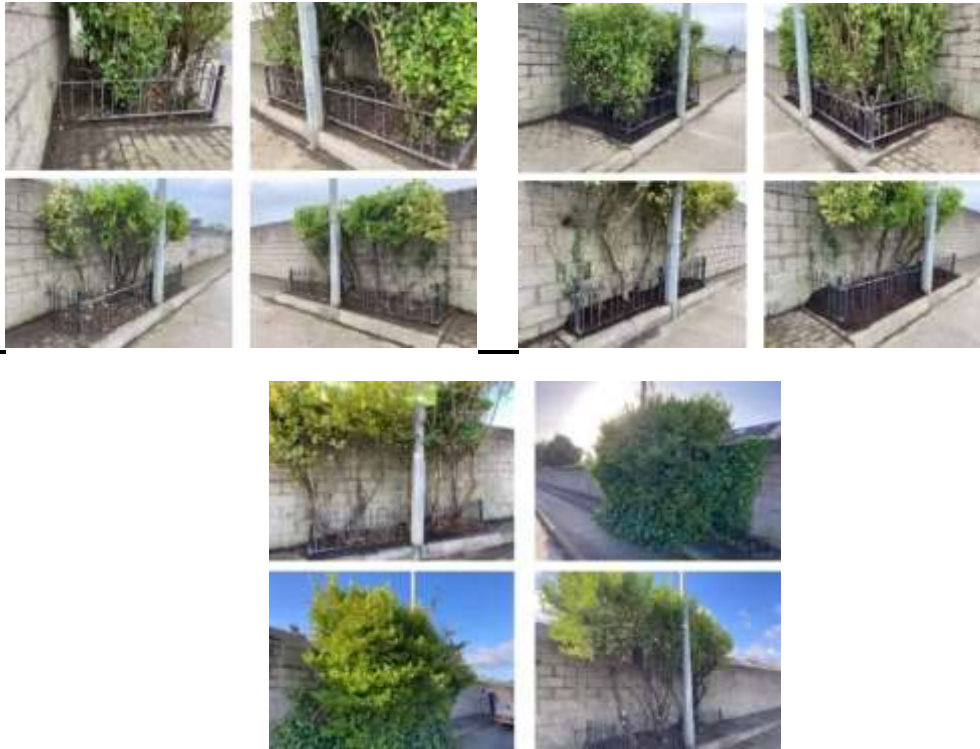
Signage

The damaged directional sign in Killester Village has been repaired and re-instated.

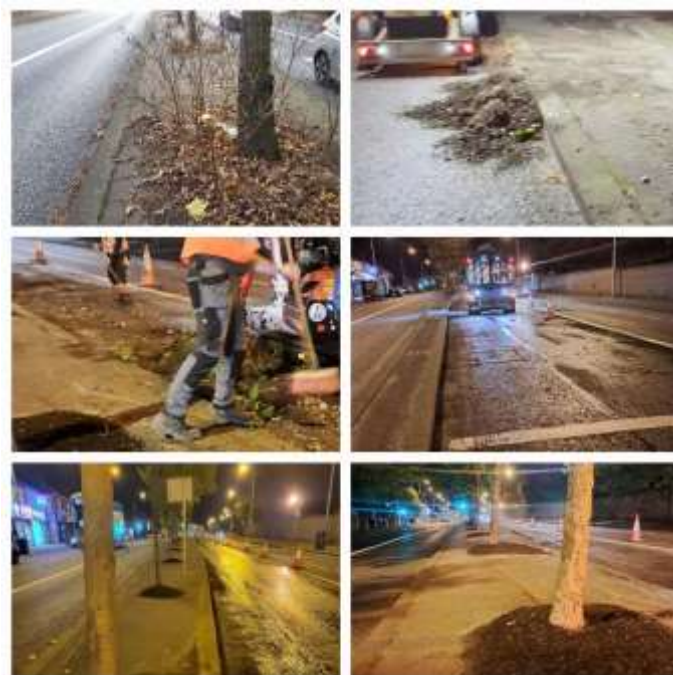


Special Clean Ups:

The Public Domain Team carried out special clean up works on the Grange Road. A tree surgeon was engaged to prune back the trees and tidy up these railed off areas.



The Public Domain Team also organised the cleaning of the central median on the Malahide Road between Clancarthy Road & Griffith Avenue. A traffic management plan had to be put in place and the work had to be carried out in the evening time with approval from Traffic as it is such a busy road. The median was weeded, scraped & cleaned. Tree bases were tidied up and fresh compost was placed around each tree & the kerblines were cleaned and swept too.



Special Clean Ups:

The Public Domain Team organised for the public lighting poles around McAuley Park area to be freshly painted. They were previously an old green colour but have been now painted black and they look great. A few more areas are scheduled for painting over the coming weeks, weather permitting.



Competitions:

Raheny was awarded the Silver Medal in the Supervalu Tidy Towns Competition and they also won the National All-Ireland Pollinator Plan category.

Congratulations to all at Raheny Tidy Village Group on this fantastic achievement. This is Raheny's best ever result in the competition.



The North Central Area City Neighbourhoods Schools Competition winner 2023 is **Scoil Áine GNS Raheny**.

The judges were absolutely blown away by the standard of the entries from the schools this year. Our congratulations to each and every one of them for the huge amount of effort and hard work that they put into their schools.

Primary and Secondary Schools were invited to enter this competition. Marks were awarded under the following judging criteria:

- Upkeep of school's precinct (landscaping/biodiversity/absence of litter and graffiti) 40%
- Water Conservation/Energy Efficiency Initiatives 25%
- Waste Management/Recycling Initiatives 25%
- Special Environmental Projects 10%

Here are some images from the schools that entered the competition. They are upcycling things like old desks and using them as plant containers, making bird boxes out of wine bottle corks & making sheds out of old plastic bottles. They are reducing paper towel usage by encouraging students to bring their own hand towel to school, they are collecting rain water in water butts and one school we visited even has a system in place to collect rain water from the roof of the school which is then gathered in a tank underground and used for flushing the toilets. They are planting and growing their own fruit and vegetables and they are segregating their waste and composting. Students are cycling or using scooters to travel to and from school. Lights and screens are turned off in classrooms when not in use and they have an assigned energy monitor to patrol energy usage in classrooms on a daily basis. Keep up the good work.

Scoil Áine GNS have been invited to attend the awards ceremony in the Mansion House in December 2023. We wish them the very best of luck in the full city wide competition.



Richard Cleary & Tommy Collins
Public Domain Officers



Joanne O'Sullivan
Environmental Liaison Officer

Date: 8th November 2023

To: The chairperson and members of
North Central Area Committee

Meeting: 20th November 2023

ARTANE / WHITEHALL LEA – COMMUNITY & SOCIAL DEVELOPMENT TEAM UPDATE FOR THE NOVEMBER MEETING OF THE NORTH CENTRAL AREA COMMITTEE

The Community & Social Development Section (CSDS), Artane - Whitehall LEA continue to meet and support a wide range of community & residents groups in the area on an ongoing basis.

Halloween in the community

Kilmore Recreation Centre Halloween activities

Kilmore Recreation Centre was transformed into a Halloween Fun House with the support of CSDS, the recreation centre staff, “*Kilmore West Youth Project*” and “*Get Kilmore Going*”. The day long free Halloween activities consisted of magic & science shows, with old fashioned Halloween games, arts & crafts, balloon modelling and face painting. Great fun was had by all who attended the event.



Darndale Together After Dark:

“*Darndale Together After Dark*” was a great success. Many thanks to all the local community organisations and groups that helped on the lead up to the event and on the night itself.



Santry Community Resource Centre:

Santry Community Resource Centre was taken over by ghosts and ghouls on Halloween night! Over 100 local young people attended a Halloween themed party to celebrate the day. CSDS provided the centre with goodie bags for this event.



Woodlawn:

Woodlawn continued the tradition of celebrating Halloween night locally. CSDS supported their small event with Halloween treats.

Coolock Environmental Actions

CSDS met with Chanel College in relation to the ongoing development of their community garden. Pupils and staff have worked very hard on this project and to assist them with their progress, CSDS have given a contribution of €500 towards buying plants and equipment.

To assist Coolock Tidy Village group with their plans to enhance the existing planters, CSDS have committed to providing funding towards top soil and winter bedding. In conjunction with our Public Domain Section, we will continue to work with the group and assist with their plans for 2024.

Maryfield Ladies Club

Community Development Officer, Hugh Flanagan recently met with Maryfield Ladies Club.

Hugh plans to link the group in with Cormac, our “Historian in Residence” and has arranged a Christmas quiz. We will also work with the group for a plan for activities in 2024.

Christmas Events

Santry Christmas Tree lighting ceremony has been organised for Friday 1st December at 8pm. All welcome to attend. CSDS have provided funding for this event.

CSDS will link in with local groups and support community & residents groups where possible with their plans for Christmas activities.

Inclusion & Integration week 2023 – North Central Area

Inclusion and integration week 2023 was celebrated across Dublin City and the North Central Area from 6th to 12th November. Both CSDS teams and Sláinte Care collaborated this year and organised / supported events across the North Central Area.

Local community groups and organisations were invited to attend two online “*introduction to diversity and inclusion*” sessions. These interactive sessions explored equality, diversity and inclusion from a range of perspectives. Participants had the opportunity to examine the various terminologies relating to current legislation and its application. Both sessions were free to attend and were facilitated by the Irish Centre for Diversity.

A talk was also organised by CSDS on “*what do the words mental health mean?*” for local mens groups across the North Central Area. The speaker on the day was Regina Lafferty, a mental health practitioner with the HSE. This free talk was held in St. Brigid’s Resource Centre, Killester.

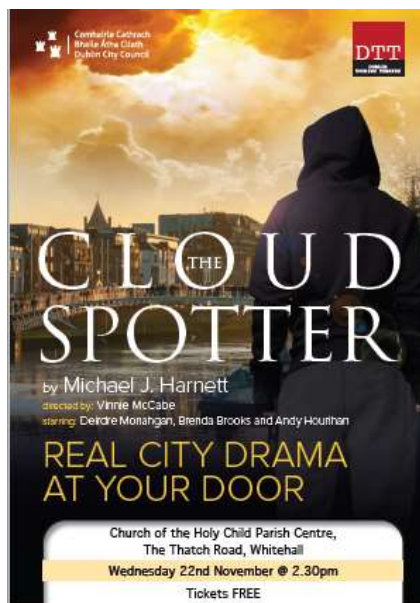
As part of Inclusion & Integration week, a six-week memory, movement & mental health programme called “*Memory Movers*” commenced on Monday 6th November. This programme is being run in St. Brigid’s Resource Centre, Howth Road, Killester. The programme is for individuals experiencing memory difficulties or families who are caring for someone who has memory difficulties. It is being delivered by North Dublin Mental Health Services for Older Persons Team (MHSOP) and Dublin City Sport and Wellbeing Partnership in conjunction with Dublin City Council’s North Central Area Office.

The CSDS team in conjunction with John Sweeney, Sports Officer, ran two active retirement functional fitness classes with the following groups;

Foxfield/Kilbarrack Seniors Group on Wednesday 8th of November at 2.00pm in Parish Hall, St. John the Evangelist & “*The Marino Tuesday Club*” on Tuesday 7th of November at 2.30pm in the Parish Hall, Fairview Church.

Theatre in the Community

The CSDS have supported the Arts Office & Dublin Touring Theatre to facilitate two community theatre performances within the Artane/Whitehall LEA. The play that will be performed is called Cloud Spotter by Michael Harnett. This production is currently touring across the city in alternative community venues. The production will be performed in Priorswood Parish Hall on Tuesday 28th November at 6pm and in Whitehall Church Parish Hall on Wednesday 22nd November at 2:30pm. Both are free to attend and no pre booking is required.



Niamh Reilly
Area Community & Social Development Officer

Date: 8th November 2023

**To: The chairperson and members of
North Central Area Committee**

Meeting: 20th November 2023

**DONAGHMEDE LEA & CLONTARF LEA - CSDS TEAM UPDATE FOR THE
NOVEMBER MEETING OF THE NORTH CENTRAL AREA COMMITTEE**

Halloween Events

Spooktacular Halloween – 30th October, Marino Crescent

The Spooktacular Halloween event was held in Marino Crescent on Monday 30th October from 1.00pm to 4.00pm. There was a mythical creature workshop by Mick the Cryptologist, pumpkin patch colouring and face painting, all of which was enjoyed immensely by participants on the day.



Clongriffin & Belmayne Halloween activities – 31st October -Fr. Collins Park



A Halloween event was organised for the Clongriffin/Belmayne area which took place in Fr. Collin's Park on 31st October between 12 noon and 3.00pm. "Slime making", "illusions workshops" by Junior Einstein's, face painting and pumpkin patch colouring were just some of the entertainment on offer on the day. There was also a performance by Jitterbug Jackson, the unicyclist entertainer.

Halloween Activities, 31st October Donaghmede Park

The Halloween event in Donaghmede Park this year took place between 2.00pm to 5.00pm on Tuesday 31st October. Music was by New Brass Kings. Entertainment included face painting, pumpkin patch colouring, with amazing acrobatic performances by Siolta.



Halloween Activities, 31st October, Roseglan pitch, Kilbarrack



Dublin City Council's Halloween event in Kilbarrack took place on Roseglan Pitch on 31st October from 3.00pm to 6.00pm. This event included wonderful performances from Siolta Acrobatic Performers, pumpkin patch activities and face painters. There was music by New Brass Kings.

Edenmore Park lit up for Halloween! -31st October Edenmore Park

The Halloween Events for the Clontarf & Donaghmede LEA's concluded with a spectacular fireworks display in Edenmore Park at 8.00pm on 31st of October.



The following groups were supported to help them celebrate Halloween:

- The Donahies Residents Association - Kids Halloween Costume Swap on 22nd October in the Donahies Community School
- Grange Woodbine Residents Association – Children’s Halloween Disco on 27th October
- Clongriffin Residents Association – Halloween Parade 30th October
- St. Paul’s Youth – Halloween Party 31st October in St. Paul’s Youth Club.
- Gracepark Meadow Residents Association – Halloween event on 31st October.
- Charlemont Residents Association – Halloween Best Dressed House Competition.

Inclusion & integration week

Inclusion and integration week 2023 was celebrated across Dublin City and the North Central Area from 6th to 12th November. Both CSDS teams and Sláinte Care supported the events across the North Central Area.

Local community groups and organisations were invited to attend two online “*introduction to diversity and inclusion*” sessions. These interactive sessions explored equality, diversity and inclusion from a range of perspectives. Participants had the opportunity to examine the various terminologies relating to current legislation and its application. Both sessions were free to attend and were facilitated by the Irish Centre for Diversity.

A talk was also organised by CSDS on “*what do the words mental health mean?*” for local mens groups across the North Central Area. The speaker on the day was Regina Lafferty, a mental health practitioner with the HSE. This free talk was held in St. Brigid’s Resource Centre, Killester.

As part of “*Inclusion & Integration week*”, a six-week memory, movement & mental health programme called “*Memory Movers*” commenced on Monday 6th November, 2023 in St. Brigid’s Resource Centre, Howth Road, Killester.

This programme is a six-week programme for individuals experiencing memory difficulties or families who are caring for someone who has memory difficulties. It is being delivered by North Dublin Mental Health Services for Older Persons Team (MHSOP) and Dublin City Sport and Wellbeing Partnership, in conjunction with Dublin City Council's North Central Area Office.

The CSDS team in conjunction with John Sweeney, Sports Officer ran two Active Retirement Functional Fitness Classes with the following groups:

Foxfield/Kilbarrack Seniors Group on Wednesday 8th November at 2.00pm in Parish Hall of St. John the Evangelist and "*The Tuesday Club*" in Marino, on Tuesday 7th November at 2.30pm in the Parish Hall of Fairview Church.

We are also hoping to run two LGBTQI+ workshops with Sphere 17 Kilbarrack and Donnycarney Youth Centre during Integration Week.

Rockfield Park

Rockfield Wellness' live theatre show in Rockfield Park on 1st November was also supported. This free event was an opportunity for the community to enjoy a live theatre show in their local park.

Sheila Duffy - Senior Community Officer

Clontarf/Donaghmede LEA



Date: 20th November 2023

To: The chairperson and members of
North Central Area Committee

**Clontarf & Donaghmede LEA's AREA HOUSING OFFICE UPDATE FOR THE
NOVEMBER, MEETING OF THE NORTH CENTRAL AREA COMMITTEE**

Estate Management Complaints October 2023

Anti-Social Statistics Clontarf & Donaghmede LEA's	Numbers
No. Anti-Social Complaints per 1997 Act - drug related	9
No. Anti-Social Complaints per 1997 Act - not drug related	14
No. Other Complaints (nuisance)	11
No. Individual Cases that complaints relate to	7
No. Racial Harassment Complaints	0
No. Anti-Social Interviews per 1997 Act	9
No. Other Interviews	6
No. Requests for Mediation	0
No. Complaints Referred to Central Estate Management Unit for Action	2
No. Live Case Files (at the end of month)	10
No. Case Files Closed	4
No. Section 20 Evictions	0
No. Excluding Orders	0
Applied for by tenant	0
Applied for by DCC	0
Granted in court	0
Refused/failed in court	0
Withdrawn	0
No. Surrender of Tenancy due to Anti-Social Behaviour	0
No. Tenancy Warnings served	0
No. Possession Orders requested	0

The following is a summary of the vacant units in the North Central Area (51 properties).

North Central Area

Property Type	No. Beds	No. Properties	Total
Apartment	1 bed	5	7
	2 bed	2	
House	2 bed	6	38
	3 bed	27	
	4 bed	5	
Senior Citizens	0 bed	5	6
	1 bed	1	

The units detailed above and listed below are currently being refurbished by Framework Contractors or by Direct Labour.

Vacant (Void) Property Refurbishments completed in 2023 (year to date)

North Central Area	
House	47
Apartment	22
Senior Citizens	66
Total	135

North Central					
Type	Location	Bed Rooms	Vacant possession date	Status	Estimated Completion date
Apartment	ARDILAUN COURT	2	N/A	Awaiting Vacant possession	N/A
House	BELCAMP AVENUE	3	N/A	Awaiting Vacant possession	N/A
Apartment	BUNRATTY ROAD	1	N/A	Awaiting Vacant possession	N/A
House	CASTLE ELMS	3	N/A	Awaiting Vacant possession	N/A
House	COLLINS AVENUE	3	N/A	Awaiting Vacant possession	N/A
House	CROMCASTLE GREEN	3	N/A	Awaiting Vacant possession	N/A
House	EDENMORE AVENUE	3	N/A	Awaiting Vacant possession	N/A

House	MARIGOLD CRESCENT	3	N/A	Awaiting Vacant possession	N/A
House	MARIGOLD GROVE	3	N/A	Awaiting Vacant possession	N/A
House	MOATVIEW AVENUE	2	N/A	Awaiting Vacant possession	N/A
House	MONTROSE CLOSE	4	N/A	Awaiting Vacant possession	N/A
House	SNOWDROP WALK	3	N/A	Awaiting Vacant possession	N/A
House	ARDARA AVENUE	3	22/05/2023	Issued to Contractor	On Offer
House	BALLYSHANNON ROAD	4	13/09/2023	Issued to Contractor	20/12/2023
House	BEAUVALE PARK	4	24/01/2023	Issued to Contractor	On Offer
House	BELCAMP AVENUE	2	15/05/2023	Issued to Contractor	21/12/2023
House	BRIARFIELD ROAD	3	28/07/2023	Issued to Contractor	18/12/2023
House	BUNRATTY ROAD	3	29/08/2023	Issued to Contractor	On Offer
House	CASTLE ELMS CLONSHAUGH GLEN	3	12/05/2023	Issued to Contractor	30/01/2024
House	CLONSHAUGH GLEN	3	23/06/2023	Issued to Contractor	On Offer
House	COLLINS PARK	3	19/06/2023	Issued to Contractor	05/12/2023
House	COLLINSWOOD	4	20/05/2023	Issued to Contractor	06/12/2023
House	DUNREE PARK	3	28/11/2022	Issued to Contractor	15/12/2023
House	ELM MOUNT ROAD	3	27/07/2023	Issued to Contractor	18/12/2023
House	GLENTOW ROAD	2	28/02/2023	Issued to Contractor	30/11/2023
House	KILLESTER PARK	2	21/07/2023	Issued to Contractor	15/12/2023
Apartment	KILLESTER PARK	1	19/07/2023	Issued to Contractor	15/12/2023
House	MAGENTA HALL	3	23/06/2023	Issued to Contractor	On Offer
House	MARIGOLD CRESCENT	3	12/06/2023	Issued to Contractor	30/11/2023
House	MARYFIELD WOODS	3	16/03/2023	Issued to Contractor	On Offer
House	MASK AVENUE	3	23/06/2023	Issued to Contractor	04/12/2023
Apartment	MERCHAMP, CLONTARF	1	28/07/2023	Issued to Contractor	30/11/2023

House	MILLBROOK AVENUE	3	08/05/2023	Issued to Contractor	30/11/2023
House	MILLBROOK AVENUE	3	30/06/2023	Issued to Contractor	20/12/2023
House	NEWTOWN DRIVE	4	26/09/2023	Issued to Contractor	26/12/2023
House	PRIMROSE GROVE	3	21/05/2023	Issued to Contractor	30/11/2023
House	PRIMROSE GROVE	3	10/07/2023	Issued to Contractor	15/12/2023
Apartment	SAINT BERACHS PLACE	2	13/09/2023	Issued to Contractor	20/12/2023
House	SAINT BRENDANS PARK	2	29/11/2022	Issued to Contractor	01/12/2023
House	SNOWDROP WALK	3	21/05/2023	Issued to Contractor	06/12/2023
House	TEMPLE VIEW CRESCENT	3	14/07/2023	Issued to Contractor	On Offer
Apartment	THE OAKWOOD	1	23/06/2023	Issued to Contractor	06/12/2023
House	YELLOW ROAD	2	08/05/2023	Issued to Contractor	10/12/2023
Senior Citizens	KILMORE PLACE	1	24/09/2023	Issued to Depot	30/01/2024
Senior Citizens	LISMEEN GROVE	0	23/09/2023	Issued to Depot	30/01/2024
Senior Citizens	LISMEEN GROVE	0	30/10/2023	Issued to Depot	30/01/2024
Senior Citizens	ROSEVALE COURT	0	08/09/2023	Issued to Depot	04/01/2024
Apartment	SAINT BERACHS PLACE	1	31/07/2023	Issued to Depot	02/12/2023
Senior Citizens	SAINT BRIGIDS COURT	0	05/11/2023	Issued to Depot	30/01/2024
Senior Citizens	SAINT JOHNS COURT	0	05/11/2023	Issued to Depot	30/01/2024
House	SNOWDROP WALK	3	06/09/2023	Issued to Depot	06/12/2023

Update on Voids List NCA Clontarf & Donaghmede LEAs

Address	Type of unit	LEA	Date of Vacant Possession	Estimated Completion date	Status under offer. Accepted
Collinswood	4 bed house	Clontarf	17/01/2022	12.06.2023	Under offer
Millbrook Avenue	3 Bed	Donaghmede	08/05/2023	No completion date – looking to adapt this unit for wheelchair	Under offer
Millbrook Avenue	3 bed	Donaghmede	08/05/2023	10/10/2023	Signed 21/10/2023
Dunree Park	3 bed house	Donaghmede	28/1/2022	12/06/2023	Under offer
Edenmore Avenue	3 bed house	Donaghmede	12/05/2023	12/09/2023	Under offer
St Brendan's Park	2 bed house	Donaghmede	05/05/2022	Planning issues, No services in this unit	Works order to be completed
St Berach's Place	2 bed wheelchair accessible apartment	Donaghmede	22/02/2023	12/09/2023	Under offer
St Berach's Place	2 bed apartment	Donaghmede	16/07/2023	20/12/2023	CBL
Edenmore Avenue	3 bed house	Donaghmede	26/06/2023	15/09/2023	Under offer
Ardare Avenue	3 bed house	Donaghmede	22/05/2023	22/09/2023	Signed 31/10/2023
Briarfield Road	3 bed house	Donaghmede	28/07/2023	18/12/2023	Under Offer
Elm mount Road	3 bed house	Donaghmede	27/07/2023	18/12/2023	Under selection
65 Killester Avenue	2 bed house	Clontarf	10/07/2023	15/12/2023	Under selection
Killester Avenue	1 bed house	Clontarf	10/07/2023	15/12/2023	Under offer
Mask Avenue	3 bed house	Clontarf	23/06/2023	15/10/2023	Under offer
Templeview Crescent	3 bed house	Clontarf	14/07/2023	15/10/2023	Signed 31/10/2023
Collins Park	3 bed house	Clontarf	29/05/2023	20/08/2023	Signed 31/10/2023
Newtown Drive	4 bed house	Donaghmede	26/09/2023	26/12/2023	Adaption
5B Garden House	2 bed apartment	Clontarf	23/02/2023	15/10/2023	Under offer

Vacant Senior Citizen Units

Address	Type of unit	LEA	Date of Vacant Possession	Estimated Completion date	Status Under Offer/ Accepted
35 St Brigid's Court	Bedsit	Donaghmede	26/06/2023	11/09/2023	Signed for 16.10.23
8 St Brigid's Court	Bedsit	Donaghmede	21/06/2023	11/09/2023	Signed for 20.10.23
1 Clancarthy Court	2 bed	Clontarf	16/08/2023	25/10/2023	Signed for 16.10.23
36 St Brigid's Court	Bedsit	Donaghmede	26/06/2023	11/09/2023	Under offer
23 Rosevale Court	Bedsit	Clontarf	25/08/2023	10/11/2023	With Depot
2 Saint Brigid's Court	Bedsit	Donaghmede	01/09/2023	04/12/2023	With Depot
7 Saint Brigid's Court	Bedsit	Donaghmede	11/10/2023	08/01/2024	With Depot
20 Raheny Court	Bedsit	Donaghmede	01/11/2023	27/01/2024	With Depot
20 Clancarthy Court	1 Bed	Clontarf	03/11/2023	29/01/2024	With Depot
34 St Johns Court	1 Bed	Clontarf	03/11/2023	29/01/2024	With Depot
4 St Johns Court	Bedsit	Clontarf	04/10/2023	08/01/2024	With Depot

St John's Court.

An agreement has been made with the Area Office and the Housing Maintenance Department, for works to be carried out to upgrade and replace all front and rear doors in St John's Court, senior citizens complex. This important work will help reduce drafts and help insulate these apartments to a much higher standard in time for the forthcoming winter and into the future. These enhancements works started in late October and should be completed by mid- November.

Newtown Drive.

The railings has been replaced and new gates have been erected at Newtown Drive. The residents are very pleased with the new railings.



Patrick P Smith

Area Housing Manager, Dublin City Council

NCA Clontarf & Donaghmede LEA's

01 222 8852 patrickp.smith@dublincity.ie



To the chairman and members of
North Central Area Committee.

Meeting: 20th November, 2023.

Darndale Housing Report 1st October - 1st November 2023

Estate Management

No. Anti-Social Complaints per 1997 Act - drug related	11
No. Anti-Social Complaints per 1997 Act - not drug related	6
No. Other Complaints (nuisance)	7
No. Individual Cases that complaints relate to	0
No. Racial Harassment Complaints	0
No. Anti-Social Interviews per 1997 Act	10
No. Other Interviews	7
No. Requests for Mediation	0
No. Complaints Referred to Central Est. Mgt. Unit for Action	0
No. Live Case Files (at the end of month)	14
No. Case Files Closed	10
No. Section 20 Evictions	0
No. Excluding Orders	0
Applied for by tenant	0
Applied for by DCC	0
Granted in court	0
Refused/failed in court	0
Withdrawn	0
No. Surrender of Tenancy due to Anti-Social Behaviour	0
No. Tenancy Warnings served	0
No. Possession Orders requested	0
No Court Orders Granted	0
No. Appeals / Judicial Reviews / Challenges	0

Housing Allocations

Housing & Apartments			
Category	Housing	Transfers	Choice Base Letting
Bands 2 & 3	0	1	7
Medical	0	0	0
Welfare	0	0	2
Homeless	0	0	1
Travellers	2	0	0
Homeless HAP	0	0	5
De-tenanting	0	0	2
Estate Management	0	0	0
Maintenance Grounds	0	0	0
Surrendering Larger	0	0	1
Unable to afford	0	0	0
Succession	0	0	0
Total	2	1	18

Senior Citizens			
Category	Housing	Transfers	Choice Base Letting
Bands 2 & 3	1	0	0
Medical	0	0	0
Welfare	0	1	0
Homeless	1	0	0
Homeless HAP	0	0	0
Travellers	0	0	0
Estate Management	0	0	0
De-tenanting	0	0	0
Maintenance Grounds	0	0	0
Surrendering Larger	0	0	0
Unable to afford	0	0	0
Financial Contribution	0	0	0
Total	2	1	0

Voids Report

Vacant Housing Units (26)				
Address	Type of unit	Date of vacant Possession	Estimated Completion Date	Status
Belcamp Ave	2 bed house	07/05/2023	07/10/2023	Works in progress
Belcamp Ave	3 bed house	16/10/2023	Under Offer	Ready to let
Bunratty Road	1 bed apartment	15/05/2023	01/10/2023	Works in progress
Ballyshannon Rd	4 bed house	01/09/2023	28/12/2023	Works in progress
Bunratty Rd	3 bed house	12/09/2023	29/11/2023	Works in progress
Collins Ave	3 bed house	01/10/2023	15/02/2024	Works in progress
Collins Park	3 bed house	29/05/2023	20/09/2023	Under offer
Castle Elms	3 bed house	12/05/2023	Under offer	Under offer
Castlevew	3 bed house	07/12/2022	14/09/2023	Works in progress
Darndale Village	2 bed apartment	05/02/2023	14/09/2023	Ready to let
Glentow Road	2 bed house	17/01/2023	30/09/2023	Works in progress
Glin Road	4 bed house	17/04/2023	12/09/2023	Works in progress
Larchill	2 bed apartment	31/01/2023	2/09/2023	Under offer
Larchill	3 bed apartment	03/03/2023	Under Offer	Under offer
Larchill	2 bed apartment	27/08/2022	Under Offer	Ready to let
Moatview Ave	2 bed house	01/06/2023	01/10/2023	Works in progress
Montrose Close	4 bed house	19/06/2023	27/11/2023	Works in progress
Moatview Court	3 bed house	01/06/2023	14/06/2023	Works in progress
Magenta Hall	3 bed house	28/07/2023	20/12/2023	Works in progress
Maryfield Woods	3 bed house	02/08/2023	23/12/2023	Works in progress

Primrose Grove	3 bed house	27/02/2022	17/10/2023	Works in progress
Primrose Grove	3 bed house	12/06/2023	15/11/2023	Works in progress
Snowdrop Walk	3 bed house	21/03/2023	19/09/2023	Works in progress
Snowdrop Walk	3 bed house	26/02/2022	28/08/2023	Works in progress
Yellow Road	2 bed house	08/05/2023	05/10/2023	Works in progress
Kilmore Court	2 bed flat	08/10/2023	08/01/2024	Works in progress

Darndale Area Office Reception Stats October 2023

	TOTAL
MAINTENANCE	191
HOUSING	36
ESTATE Mgt	24
OTHER	15
TOTAL	266

Voids Report

Older Persons Units - 11

Address	Unit Type	L.E.A.	Date of Vacant Possession	Status
Domville Court	1 Bed	North West	08/09/2023	Works in progress
Lismeen Court	Bedsit	North Central	17/09/2023	Works in progress
Lismeen Court	Bedsit	North Central	02/10/2023	Works in progress
Glin Court	2 Bed	North Central	08/01/2022	Under offer
Hampstead Court	Bedsit	North West	02/10/2023	Works in progress

Hampstead Court	Bedsit	North West	11/09/2023	Works in progress
Hampstead Court	Bedsit	North West	18/06/2023	Works in progress
Hampstead Court	Bedsit	North West	11/06/2023	Works in progress
Hampstead Court	Bedsit	North west	16/04/2023	Works in progress
Lismeen Grove	Bedsit	North Central	10/09/2023	Works in progress
Lismeen Grove	Bedsit	North Central	21/09/2023	Under offer

Current Housing Projects in the area

Glin Court

Purcell Construction have been on site since June 2023. The demolition of both blocks and community centre, is now complete. Foundation laying, below floor drainage and ducting for both blocks is underway. No delays recorded to date. The site is due for completion in November 2024. Relationship with neighbours has continued to be positive. The community kitchen, which provides “meals on wheels” to the elderly in the area, was successfully relocated to a temporary kitchen in the Glin Centre and continues to operate.

File picture: Glin Court 03/11



Cromcastle Court / Woodville

The proposal is for the demolition of three of the existing housing blocks on the Cromcastle Court site and for the construction of a new social housing scheme in its place as well as the development of the Coalyard site. The current proposals show for 115 homes on the Cromcastle Court site, a mix of one, two and three bedroom homes, while it is planned to provide for 34 older person homes on the Old Coalyard site. An integrated design team has been progressing with design proposals and are preparing to commence the planning process which will be using the Section 179a planning approval process.

Bunratty Road

The Bunratty Road development, Bunratty Walk, has 78 Dwellings, which are as follows: 14 X 3 bedroom houses and 64 apartments in the complex, providing a mix of 1, 2 & 3 bedroom units. All fourteen houses have been allocated and the new tenants are in the process of moving in. The Area Office are continuing to allocate and show the remaining 16 apartments. A walkabout of Bunratty Walk took place on 24th October, with Councillors and Area Office staff.

Oscar Traynor Road Site

The Oscar Traynor Road development was granted planning by An Bord Pleanála. It is expected that the contractor will be on site by November 2023.

This development will accommodate 853 new homes on the site of approx. 17.1 ha as well as the following amenities:

- A total of 3.64ha public open spaces comprising;
- Lawrence Lands Park' (3.12ha), featuring the re-opened River Naniken and incorporating allotments, orchards, nature trails, skate and scooter park, wetlands with boardwalks and weir/pedestrian bridge over, cycle trails and woodlands;
- 5 pocket parks, including Kilmore Gardens (580 sq. m), Lawrence Gardens (2,548 sq. m), Castle Gardens (1,522 sq. m) Pocket Park West 1 (260 sq. m) and Pocket Park West 2 (260 sq. m).
- A 2-storey neighbourhood hub building with a cumulative GFA of 1,680 sq. m including a ground floor unit of 269.3 sq. m to facilitate a Class 1 (shop) and café (food and beverage) use, with 1,411 sq. m of floor space at ground and first floor levels designated for Class 10 (community/arts) and/or Class 11 (cultural) uses
- A 2-storey crèche (with capacity for 154 children) including an associated outdoor play area.
- 7 new pedestrian/cyclist access points including 4 at Coolock Lane, 1 at Lorcan Park, 1 at Castletimon Gardens and 1 at Castletimon Road.

Cromcastle Underpass Site

The scheme is for 146 units in a mix of social (13) and cost rental (133) tenures. In progressing its plans and proposals, the LDA promotes a proactive and inclusive approach to community and stakeholder engagement. Public and stakeholder input was sought during

the consultation phase and the design has been updated to reflect feedback from the public. Works will commence on site by Q4 2024.

A total of 479m² of community/cultural space is proposed at ground floor level within the scheme. This is split into two spaces, 158m² within Block A and 321m² within Block B. Both units will comprise of uses that are considered Community/Cultural and will be in accordance with the requirement to provide these spaces under the Dublin City Development Plan. Both spaces are accessed off the Public Plaza will be fully accessible to all users. These units will have a level of car and bicycle parking available. The units have been designed to be flexible to allow for a wide range of uses. DCC and the LDA will work collaboratively to identify suitable users for these spaces that will fall into the categories of community & cultural uses.

Spine Site and Belcamp B Site – Respond Housing, Approved Housing Body

Respond Housing are currently working on designs for both sites. They are planning to tender for both the Spine site and the Belcamp B site together once they have planning permission on the Spine site. They are proposing a variety of house types to cater for a mix of needs, which will lend itself to an interesting architectural design. A meeting took place on 8th November in Coolock Garda station, with Gardaí, DCC and Respond looking at safety measures and concerns for the proposed plans.

Gillian Corcoran

Acting Area Housing Manager



Dublin City Council Housing Delivery Report – November 2023

The table below captures Dublin City Council's current pipeline across all of our delivery streams.

Summary of unit numbers in pipeline	Units
Under Construction	1,720
Tender Stage	678
Part V	1,500 (Current Pipeline - 900)
Regeneration Projects	1,969
Advanced Planning and Design	1,369
Pre Planning or Feasibility Stage	2,661
Traveller Housing	71
Long Term Leasing	1,465 (Current Pipeline – 159)
Affordable Purchase	1,743
Cost Rental	2,963
TOTAL	16,139

Frank d'Arcy
A/Assistant Chief Executive
28th October 2023

Homes Under Construction

Committee Area	Provider	Schemes	Funding Stream	Unit No and Type	Status	Next Mile Stone	Finish Date
Central	A.H.B. C.H.I.	1-17 Annesley Court	C.A.L.F.	17	On site	Completion of Scheme	Q1 2024
Central	A.H.B. (Dublin Simon)	Arbour Hill, Dublin 7	C.A.S.	14	On site	Completion of Scheme	Q2 2024
Central	A.H.B. C.H.I.	Belvedere Court	C.A.L.F.	13	On site	Completion of Scheme	Q1 2024
Central	A.H.B. (Clúid)	North Great Charles St., D.1	C.A.L.F.	52	Enabling Works complete. Principal contractor to be appointed	Completion of Scheme	Q3 2024
Central	A.H.B. (C.H.I.)	North King St.	C.A.L.F.	30 11 x 1 bed 15 x 2 bed 4 x 3 bed	Works to recommence on site	Completion of Scheme	Q4 2025
Central	D.C.C. Housing Land Initiative	O 'Devaney Gardens	Joint Venture	283 (Social units)	Commencement of Enabling Works	Completion of Enabling Works	2027
Central	A.H.B. (Circle)	Railway Street, D.1	C.A.L.F.	47 10 x 1 bed 27 x 2 bed 10 x 3 bed	On site	Completion of Scheme	Q3 2024
Central	D.C.C.	St. Finbarr's Court, D.7	L.A. Housing-Regeneration	46	On site	Completion of Scheme	Q4 2024

Update:

Stage 4 funding has been approved by the DHLGH. Contactor has commenced work on site at St Finbarr's May 2023.

St Finbarr's Court older person housing was demolished in 2019 to make way for the redevelopment of St Finbarr's Court.

The new development consists of 46 Older Person homes, 44 U.D. + 2 U.D. plus it will host a community room.

Substantial completion date is November 2024.

Homes Under Construction

Committee Area	Provider	Schemes	Funding Stream	Unit No and Type	Status	Next Mile Stone	Finish Date
Central	A.H.B. C.H.I.	Wellington Street	C.A.L.F.	24	On site	Completion of Scheme	Q1 2024
North Central	A.H.B. (Tuath)	Belmayne	C.A.L.F.	24	On site	Completion of Scheme	Q1 2025
North Central	A.H.B. (Respond)	Chanel Manor, Coolock D.5	C.A.L.F.	78 20 x 1 bed 43 x 2 bed 15 x 3 bed	On site	Completion of Scheme	Q2 2024
North Central	D.C.C.	Glin Court, D.17	L.A. Housing Regeneration	32	Contractor on site	Completion of Project	2024
<p>Update:</p> <p>The project received stage 4 approval from the DHLGH in March 2023. The contractor commenced on site at the end of June 2023.</p> <p>The project is for the full demolition of the existing two housing blocks and the construction of 32 new homes for Older Persons and a new community room. The site is due for completion in November 2024.</p> <p>The community kitchen, which provides Meals on Wheels to the elderly in the area, was successfully relocated to a temporary kitchen in the Glin Centre and continues to operate.</p>							
North Central	A.H.B. (Respond)	Griffin Hall, Hole in the Wall Road, D.13	C.A.L.F.	98 (+89 Cost Rental)	On Site	Funding Approval	Q1 2026
North Central	A.H.B. (Respond)	Hole in Wall (Griffin Court)	C.A.L.F.	146 (+64 Cost Rental)	On site	Completion of Scheme	Q4 2024
North Central	A.H.B. (Clúid)	Parkside Phase 1	C.A.L.F.	122 (+ 73 Cost Rental)	On site – funding application under assessment	Completion of Scheme	Q4 2024
North Central	A.H.B. (Focus)	15 Richmond Avenue, Fairview, D.3	C.A.L.F.	35 19 x 1 bed 16 x 2 bed	Construction commenced	Completion of Scheme	Q1 2025

Homes Under Construction

Committee Area	Provider	Schemes	Funding Stream	Unit No and Type	Status	Next Mile Stone	Finish Date
North West	D.C.C.	Prospect Hill Turnkey, D.11	L.A. Housing	58	Contractors on site	Completion of Scheme	Q4 2023
South East	A.H.B. (Clúid)	Bethany House, D.4	C.A.L.F.	62 45 x 1 bed 17 x 2 bed	On site	Completion of Scheme	Q2 2024
South East	A.H.B. P.M.V.T.	Eagle Lodge Ranelagh	C.A.S.	19	On Site – in final snagging stages	Complete Refurbishment	Q3 2023
South East	A.H.B. (P.M.V.T.)	Townsend Street 180-187, D.4	C.A.S.	20 20 x 1 bed	On Site	Completion of Scheme	Q2 2024
South Central	D.C.C. (Rapid build)	Bonham Street	L.A. Housing	57 26 x 1 bed 26 x 2 bed 5 x 3 bed	On site	Completion of Scheme	End Q4 2023

Update:

Completion works are ongoing onsite with a target date for handover of end Q4 2023.
There are 57 apartments in this new scheme, providing a mix of 1, 2 & 3 bedroom homes

South Central	A.H.B. (Focus)	25-27 Bow Lane West, Dublin 8	C.A.L.F.	27 4 x studio 16 x 1 bed 7 x 2 bed	On Site	Completion of Scheme	Q2 2025
South Central	D.C.C. (Rapid build)	Cork/Chamber Street, D.8	L.A. Housing	55 32 x 1 bed 10 x 2 bed 13 x 3 bed	On site	Completion of Scheme	End Q4 2023

Update:

Completion works are ongoing onsite with a target date for handover of Q4 2023.
There are 55 apartments in this new scheme, providing a mix of 1, 2 & 3 bedroom homes

Homes Under Construction

Committee Area	Provider	Schemes	Funding Stream	Unit No and Type	Status	Next Mile Stone	Finish Date
South Central	A.H.B. (Respond)	Elanora Court Long Mile Road	C.A.L.F.	138 51 x 1 bed 80 x 2 bed 7 x 3 bed	On site - Turnkey	Completion of Scheme	Q4 2023
South Central	D.C.C. (Rapid build)	Springvale, Chapelizod D.20	L.A. Housing	71 21 x 1 bed 30 x 2 bed 20 x 3 bed	On site	Completion of Scheme	Q4 2023
<p>Update:</p> <p>Completion works are ongoing onsite with a target date for handover of Q4 2023. There are 71 apartments in this new scheme, providing a mix of 1, 2 & 3 bedroom homes</p>							
South Central	A.H.B. (Alone/Circle)	1b St. Michael's Estate, D.10 (Richmond Place)	C.A.S.	52	On site	Completion of Scheme	Q4 2024
South Central	A.H.B. (Dublin Simon)	25/26 Ushers Island, D.8	C.A.S.	100 100 x 1 bed	On site	Completion of Scheme	Q4 2024
			TOTAL	1,720			

Schemes at Tender Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	A.H.B. (Focus)	Dominican Convent	C.A.L.F.	95	Planning Granted	Complete tender for contractor	Q3 2025
Central	D.C.C.	Dorset Street Flats, D.1	L.A. Housing Regeneration	163 65 x 1 Bed 77 x 2 Bed 21 x 3 Bed	Stage 3 Approved & Part 8 granted Out to tender for appointment of a contractor	Complete tender for the appointment of a contractor	2026
<p>Update:</p> <p>The redevelopment of Dorset Street received Stage 3 approval from the DHLGH in July 2023 The project is now at tender stage for the appointment of a contractor to the project. The scheme will be completed in one phase and will provide 163 new social homes , which will be a mix of one, two and three bedroom homes Also included in the new scheme is the provision of a multi-use community space (crèche/karate/community facility), a boxing club, a commercial unit and a café space.</p>							
Central	D.C.C. In House	Infirmiry Road Dublin 8	L.A. Housing	38 12x 1 bed 20 x 2 beds 6 x 3 beds	Stage 4 application submitted to DHLGH.	Achieve Stage 4 approval	Q2 2025
<p>Update:</p> <p>The delivery of 38 homes on this site has received Stage 3 approval from the D.H.L.G.H. and achieved Part 8 planning permission. Part 8 planning permission has been achieved for 38 mixed tenure homes, for general residential use & older persons. Comprising 12 x 1 bed; 20 x 2 bed & 6 X 3 bed homes. The tender process (for a contractor) is complete. The Stage 4 funding application has been submitted to DHLGH.</p>							
Central	A.H.B. (CABHRU)	James Mc Sweeney House, Berkeley St, D.7	L.A. Housing	35	Tender for Demolition & Enabling works	Commence on site	2025

Schemes at Tender Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	A.H.B. (Dublin Simon)	Sean McDermott Street	C.A.S.	8 x 1 bed	Stage 3	Final Approval	Q4 2024
Update:							
There has been a cost increase on this development, this is under assessment							
North Central	A.H.B. (Respond)	High Park, Gracepark Rd.	C.A.L.F.	101 40 x 1 bed 36 x 2 bed 25 x 3 bed	Under assessment	Design being reconsidered due to tender costs	2025
North Central	A.H.B. (FOLD)	Millwood Court, D.5	C.A.L.F.	52	Funding Approved	Commence on Site	Q3 2025
North Central	A.H.B. (DePaul)	Moorehaven	C.A.S.	8	Re-tender required	Commence Refurbishment	Q3 2025
North Central	A.H.B. (Oaklee)	9 & 9 A Richmond Ave	C.A.L.F.	28	Funding Approved	Commence on site	Q1 2025
South East	A.H.B. (P.M.V.T.)	Shaw Street, D.8	C.A.S.	12 11 x 1 bed 1 x 2 bed	Contractor withdrew re-tendered, report being drafted	Award contract	Q1 2025
South Central	A.H.B. (Circle)	Coruba House, D.12	C.A.L.F.	75	Judicial Review	Achieve Planning	2025
South Central	A.H.B. (P.M.V.T.)	Echlin St.	C.A.S.	9	Planning Granted Submit Funding App	Funding approved	2025
South Central	A.H.B. (Novas)	Kilmainham, D.8	C.A.L.F.	11	Main contracts tender issued	Funding approval Commence on site	2025
South Central	A.H.B. (Oaklee)	Moeran Rd.	C.A.L.F.	43	Funding approved by D.H.L.G.H.	Commence on site	2026
			TOTAL	678			

Part V Acquisitions (Approved)

Committee area	Provider	Schemes	Funding Stream	Units	Status	Next Milestone	Finish Date
Central	D.C.C.	East Road, D.1	L.A. Housing/Leasing	55	Back in Negotiations	Units to be leased (new owner)	Q1 2025
Central	A.H.B.	Northbank, Dublin 1 (off-site for City Blk 3, D1)	C.A.L.F.	15	Agreement in place	Units to be acquired	Q4 2023
Central	A.H.B.	Northbank, Dublin 1 (off-site for City Blk 3, D1)	C.A.L.F.	25	Closed	Closed	Q2 2023
Central	A.H.B.	Rathborne	C.A.L.F.	72	In Negotiations	Units to be acquired	Q4 2025
Central	D.C.C.	1-4 Shamrock Place, D.1	L.A. Housing/Leasing	4	Agreement in place	Units to be leased	Q3 2024
Central	A.H.B.	Spencer North, Dublin 1	C.A.L.F.	33	Closed	Closed	Q4 2023
North Central	D.C.C.	Ashbrook, Clontarf, Dublin 3	L.A. Housing	4	Agreement in place	Units to be acquired	Q4 2023
North Central	A.H.B.	Belmayne, P4, Dublin 13	C.A.L.F.	26	Agreement in place	Units to be agreed	Q1 2025
North Central	D.C.C.	Block 2, Northern Cross, Malahide Road	L.A. Housing/Leasing	19	Agreement in place	Units to be leased	Q1 2024
North Central	A.H.B.	Chanel Manor, Coolock, D.5	C.A.L.F.	9	Funding Approved	Units to be acquired	Q4 2024

Part V Acquisitions (Approved)

Committee area	Provider	Schemes	Funding Stream	Units	Status	Next Milestone	Finish Date
North Central	D.C.C.	194, 196, 198 Clonliffe Road, D.3	L.A. Housing	3	Back in Negotiations	Units to be acquired	Q2 2024
North Central	A.H.B.	Clonshaugh House, D.17	C.A.L.F.	2	Back in Negotiations	Units to be agreed	Q4 2024
North Central	A.H.B.	Daneswell Place, Botanic Rd., D3	C.A.L.F.	16	In Negotiations	Units to be agreed	Q4 2025
North Central	D.C.C.	Hampton, Grace Park Rd, D.9	L.A. Housing	8	Agreement in place	Units to be acquired	Q1 2024
North Central	A.H.B.	Hartfield Place, Dublin 9	C.A.L.F.	47	In Negotiations	Units to be acquired	Q4 2025
North Central	A.H.B.	Hole in the Wall Road, Dublin 13 (Phase 1 – Block C & D)	C.A.L.F.	21	Agreement in place	Units to be acquired	Q4 2024
North Central	A.H.B.	Hole in the Wall Road, Dublin 13 (Phase 2 – Block A & B)	C.A.L.F.	18	Agreement in place	Units to be acquired	Q4 2024
North Central	D.C.C.	Newtown, Clarehall, D.17	L.A. Housing/Leasing	33	Agreement in place	Units to be leased	Q4 2023
North Central	A.H.B.	Parkside, Phase 5B Dublin 13	C.A.L.F.	6	In Negotiations	Units to be acquired	Q1 2024
North Central	A.H.B.	Parkside, Phase 5B Dublin 13	C.A.L.F.	67	In Negotiations	Units to be acquired	Q4 2023
North West	D.C.C.	Addison Lodge, Botanic Road	L.A. Housing	2	Agreement in place	Units to be acquired	Q4 2023
North West	D.C.C.	54 Glasnevin Hill, D.9	L.A. Housing	10	Back in Negotiations	Units to be agreed	Q1 2025

Part V Acquisitions (Approved)

Committee area	Provider	Schemes	Funding Stream	Units	Status	Next Milestone	Finish Date
North West	D.C.C.	Merville, Finglas, D.11	L. A. Housing	20	Agreement in place	Units to be acquired	Q1 2025
North West	A.H.B.	Plunkett Hall, Hole in the Wall Road, Dublin 13	C.A.L.F.	6	Closed	Closed	Q3 2023
South East	D.C.C.	Beach Rd., Sandymount, D4	L.A. Housing	11	In Negotiations	Units to be agreed	Q2 2025
South East	A.H.B.	Brickfield Drive, Crumlin, D.12	C.A.L.F.	28	In Negotiations	Units to be agreed	Q2 2024
South East	A.H.B.	Eglinton Road, Dublin 4	C.A.L.F.	14	Agreement in place	Units to be acquired	Q4 2023
South East	A.H.B.	Elm Park Green, Merrion Road, Dublin 4	C.A.L.F.	7	Agreement in place	Units to be agreed	Q1 2024
South East	D.C.C.	ESB Depot, Parnell Avenue, D.12	L.A. Housing	5	Agreement in place	Units to be agreed	Q1 2024
South East	D.C.C.	Glass Bottle, Pembroke Quarter, D.4	D.C.C.	57	In Negotiations	Units to be agreed	Q1 2025
South East	A.H.B.	126 – 128 Harold's Cross Road, D.6	C.A.L.F.	3	Back in Negotiations	Units to be acquired	Q2 2024
South East	A.H.B.	Harold's Cross Classic Cinema, D.6	C.A.L.F.	9	Agreement in place	Units to be acquired	Q4 2023
South East	A.H.B.	47-51 Keeper Road, D.12	C.A.L.F.	4	Agreement in place	Units to be acquired	Q1 2024

Part V Acquisitions (Approved)

Committee area	Provider	Schemes	Funding Stream	Units	Status	Next Milestone	Finish Date
South East	A.H.B.	143 Merrion Road, Dublin 4	C.A.L.F.	6	In Negotiations	Units to be agreed	Q2 2024
South East	D.C.C.	South Dock (rear of), Dublin 4	L.A. Housing	1	In Negotiations	Units to be acquired	Q4 2023
South East	D.C.C.	The Gatehouse, Charlemont Street, Dublin 2	L.A. Housing	1	Closed	Units to be acquired	Q4 2023
South East	D.C.C.	85 Templeogue Road, Dublin 6	L.A. Housing	5	In Negotiations	Units to be agreed	Q4 2024
South Central	D.C.C.	Blackhorse Inn Pub, Inchicore, D.8	L.A. Housing/Leasing	5	Agreement in place	Units to be leased	Q3 2024
South Central	D.C.C.	Camac Park, Dublin 12	L.A. Housing	2	In Negotiations	Units to be acquired	Q1 2024
South Central	A.H.B.	Carriglea, Naas Road, D.12	C.A.L.F.	38	Agreement in place	Units to be acquired	Q2 2024
South Central	D.C.C.	Clanbrassil Street, Dublin 8	L.A. Housing	2	Agreement in place	Units to be acquired	Q3 2024
South Central	A.H.B.	Elanora Court Long Mile Rd.	C.A.L.F.	15	Funding Approved	Units to be acquired	Q4 2023
South Central	D.C.C.	Former Faulkners Site, Chapelizod Hill Road, D.20	L.A. Housing	18	Back in Negotiations	Units to be acquired	Q1 2024
South Central	A.H.B.	Hanlon's factory, 75-78 Cork Street. D.8	C.A.L.F.	5	Back in Negotiations	Units to be agreed	Q4 2024
South Central	D.C.C.	Heidelberg Building, South Circular Road, D.12	L.A. Housing	18	In Negotiations	Units to be agreed	Q4 2025

Part V Acquisitions (Approved)

Committee area	Provider	Schemes	Funding Stream	Units	Status	Next Milestone	Finish Date
South Central	A.H.B.	I.D.A. Business Park, Newmarket, D.8	A.H.B./Leasing	41	Agreement in place	Units to be leased	Q3 2023
South Central	D.C.C.	Kenilworth Garage, 348 Harold's Cross Road, D. 6W	L.A. Housing	5	In Negotiations	Units to be agreed	Q1 2025
South Central	D.C.C.	Mill Street/Sweeney's Corner, Dublin 8	L.A. Housing/Leasing	3	Agreement in place	Units to be leased	Q4 2023
South Central	D.C.C.	42a Parkgate Street, D.8	L.A. Housing/Leasing	51	Agreement in place	Units to be leased	Q4 2025
South Central	D.C.C.	Pembroke Row, Lad Lane, Dublin 2	L.A. Housing	1	Agreement in place	Units to be acquired	Q4 2023
South Central	A.H.B.	Steelworks Site, James St., D.8	C.A.L.F.	18	Agreement in place	Units to be acquired	Q4 2024
South Central	A.H.B.	Thomas Moore Road, Walkinstown, D.12	C.A.L.F.	6	Back in Negotiations	Units to be acquired	Q4 2023
			TOTAL	900			
			Delivery Target	1,500			

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	D.C.C.	Constitution Hill, D.7	L.A. Housing-Regeneration	124	Stage 2 approval Part 8 Granted	Submit Stage 3 Application to DHLGH	2025 Phase 1
<p>Update:</p> <p>The redevelopment of Constitution Hill achieved Part 8 planning permission at the April 2023 Council meeting.</p> <p>The project proposal is for a mixture of deep retrofit, amalgamation and infill of the three existing housing blocks and for the provision of new housing blocks on the site. It is proposed that the project will be completed in two phases. The first phase involves the amalgamation and redevelopment of the northern housing block (block nearest to Broadstone depot) and a new apartment block on the northern end of the site. A multi-use childcare space will be provided as part of Phase 1. The second phase will provide for the redevelopment of the two other housing blocks, along with a new apartment block to the south of the site and a row of mews houses along the boundary wall at the rear of the site. The new scheme will provide 100% social housing, with a mix of one, two and three bedroom homes. The Area Housing Manager and her staff are continuing to update the residents on an ongoing basis.</p> <p>A soft strip survey of Block 1 is commencing shortly which will provide relevant information required for the tendering process. A project update newsletter was issued to all residents and local councillors in early October. It is anticipated following the necessary design, procurement and DHLGH approvals that a contractor will start Phase 1 in 2024 and complete in Q4 2025.</p>							
Central	D.C.C.	Dominick Street West	L.A. Housing-Regeneration	90	Feasibility ongoing	Determine brief and delivery mechanism	TBC
<p>Update:</p> <p>An appraisal process to examine the options for the delivery of public housing on this site at Dominick Street West is currently under review.</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	D.C.C.	Dunne Street	L.A. Housing-Regeneration	130	Proposal ongoing engagement with Local Area Office	Determine brief and delivery mechanism	TBC
<p>Update:</p> <p>A feasibility study has been completed for the redevelopment of Dunne Street. The options are due to be being examined with the local Area Office in order to decide upon the best option and delivery mechanism.</p>							
Central	D.C.C.	Matt Talbot Court D.1	L.A. Housing-Regeneration	92	Stage 2 Approval Planning Approval	Prepare tender documentation	2027
<p>Update:</p> <p>The regeneration of Matt Talbot Court has received Stage 2 project and budget approval from the D.H.L.G.H. Elected members were informed of the plans at the City Council July meeting and the planning application was lodged on the 10th August 2023. The public notification period ended after 8 weeks on the 5th October 2023.</p> <p>The proposal is for the demolition of the existing three housing blocks and for the construction of a new social housing scheme providing a mix of one, two and three bedroom homes. The project will be completed in one phase. The Area Housing Manager and his staff are continuing to update the residents on an ongoing basis.</p>							
Central	A.H.B. Tuath Housing	Portland Row, D.1	C.A.L.F.	50	Design Team Appointed, Design work commenced	Prepare for Planning & Community Consultation	Q4 2025

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	D.C.C.	St. Bricin's Park	L.A. Housing-Regeneration	10	In-house single stage process being pursued	Achieve initial approval from D.H.L.G.H.	TBC
<p>Update:</p> <p>The provision of ten older person homes is being proposed through the single stage process to complete the housing scheme at St Bricin's Park.</p>							
North Central	D.C.C. (Rapid build)	Cromcastle & Old Coalyard site, D.17	L.A. Housing-Regeneration	149	Stage 2 Approval Design development ongoing	Commence the planning process	2026
<p>Update:</p> <p>The regeneration of the first phase of Cromcastle Court and the Coalyard site received Stage 2 approval in August 2023. The proposal is for the demolition of the existing three housing blocks on the Cromcastle Court site and for the construction of a new social housing scheme in its place and the development of the Coalyard site. The current proposals show for 115 homes on the Cromcastle Court site, a mix of one, two and three bedroom homes, while it is planned to provide for 34 older person homes on the Old Coalyard site. An integrated design team has been progressing with design proposals and are preparing to commence the planning process which will be through using the Section 179a planning approval process.</p>							
North Central	D.C.C.	Gorsefield Court, D.5	L.A. Housing-Regeneration	44	Proposal Feasibility stage	Determine development options	TBC
<p>Update:</p> <p>DCC City Architects are finalising their feasibility study for the redevelopment of this Older Persons scheme. Once the feasibility study has been reviewed, a decision will be made on how best to develop the site.</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	D.C.C.	Mount Dillon Court, D.5	L.A. Housing-Regeneration	45	Proposal Feasibility stage	Determine development options	TBC
<p>Update:</p> <p>DCC City Architects are finalising their feasibility study for the redevelopment of this Older Persons scheme.</p> <p>Once completed, a review of the options will take place, which will determine the best development option and delivery mechanism for the site.</p>							
North Central	D.C.C.	St. Anne's Court, D.5	L.A. Housing-Regeneration	102	Stage 1 Approval	DHLGH Stage 2 submission & approval	2026
<p>Update:</p> <p>The Design Team are finalising Stage 2 (b) (Design to Planning). Site design and surveys are ongoing.</p> <p>DCC have received Stage 1 project and funding approval for the redevelopment of St. Anne's Court, Raheny.</p> <p>The proposal is for the full demolition of the existing housing blocks, to be replaced with the construction of 102 new build Older Person housing scheme of one bedroom apartments including a community space, to be completed in one phase.</p> <p>A stage 2 application for funding was submitted to the DHLGH on 5th October 2023.</p>							
South East	A.H.B. (FOLD)	Clonmacnoise Grove, D.12	C.A.L.F.	22 - 26	Feasibility stage & Design Development	Community Consultation	2025
<p>Update:</p> <p>Fold have had initial engagement with the tenants and advised of the proposed redevelopment, further information events will be arranged when preliminary designs are available</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South East	A.H.B. (FOLD)	Ravensdale Close, D.12	C.A.L.F.	26	Feasibility Stage & Design Development	Community Consultation	2025
<p>Update:</p> <p>Fold have had initial engagement with the tenants and advised of the proposed redevelopment, further information events will be arranged when preliminary designs are available</p>							
South East	D.C.C.	Glovers Court, D.2	L.A. Housing-Regeneration	50	Stage 1 Approval received from D.H.L.G.H.	Draft Stage 1 report with preliminary design	Q4 2028
<p>Update:</p> <p>Dublin City Council has received Stage 1 approval from the D.H.L.G.H. for initial project approval and funding for the regeneration of Glovers Court.</p> <p>An Integrated Design Team (IDT) has been appointed to Glover Court. They are currently working on design proposals and site surveys.</p>							
South East	D.C.C.	Grove Road, D.6	L.A. Housing-Regeneration	30	Proposal Feasibility stage	Determine development options and delivery	2026
<p>Update:</p> <p>The plans for Grove Road are at feasibility stage.</p> <p>DCC City Architects have undertaken a feasibility study to explore the development options available for the site. Once the feasibility study has been costed and reviewed, a decision will be made on the best development and delivery option for the project.</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South East	D.C.C.	Pearse House, D.2	L.A. Housing-Regeneration	75	Stage 1 Approval Design team appointed due to commence preliminary design	Stage 2 approval and proceed with the planning process	Q2 2028
<p>Update:</p> <p>Pearse House is a Protected Structure - Stage 1 has been received for the first phase of the regeneration.</p> <p>Stage 1 for the redevelopment of Pearse House has been approved by the DHLGH for the full deep retrofit and amalgamation of existing flats in Blocks L, M, N and P also known as the "Small Flats". Due to the large size and scope of the complex, it is not possible to carry out the regeneration of the entire scheme at the same time, therefore it will be completed on a phased basis over a number of years</p> <p>Stage2 The integrated Design Team have been appointed. The integrated design team includes a conservation architect.</p>							
South East	D.C.C.	Rathmines Avenue D.6	L.A. Housing-Regeneration	87	Proposal Feasibility stage	Determine redevelopment options and delivery	TBC
<p>Update:</p> <p>The regeneration plans for Rathmines Avenue are at feasibility stage.</p> <p>DCC City Architects have undertaken a feasibility study to explore the redevelopment options available for the existing housing scheme Once the feasibility study has been costed and reviewed, a decision will be made on the best redevelopment and delivery option for the project.</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South East	D.C.C. (Rapid build)	St. Andrew's Court, D.2	L.A. Housing-Regeneration	33	Stage 2 Approval	Proceed with the planning process	2026

Update:

The regeneration of St Andrews Court received Stage 2 approval from the DHLGH in August 2023.

The proposal is for the demolition of the existing housing blocks and for the construction of a new social housing scheme. The new homes will be a mix of one, two and three bedroom homes.

An integrated design team has been progressing with design proposals and are preparing to commence the planning process.

South Central	LDA	Bluebell, Inchicore, D12	L.A. Housing-SHIP Mixed-tenure & LDA funded affordable	80 Phase 1 60 Phase 2	Architect led design team is appointed. Preliminary Design is underway	Public Engagement and Planning Submission	TBC
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Update:

This project will provide for the delivery of approximately between 358-410 mixed tenure homes in a collaboration between Dublin City Council and the Land Development Agency. Stage 1 initial project and budget funding has been approved for 140 social homes in total. A capacity study for the site has been presented by the LDA to DCC in December 2022. The design team is now appointed. Site surveys and investigations are underway.

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C. (In House)	Dolphin 1B D.8	L.A. Housing- Regeneration	28	Stage 1 Approval	Prepare for Stage 2 submission to the D.H.L.G.H. and Part 8 lodgement, now to be lodged under 179a planning Q3.	2026
<p>Update:</p> <p>Stage 1 project and funding approval has been received for the construction of approximately 28 new homes. Design development is progressing and community consultation on the proposals are proposed to take place shortly. It is anticipated to start the Part 8 process in mid-2023, stage two application end of June 2023 and will now be lodged for planning under 179a Q3</p>							
South Central	D.C.C.	Donore Avenue- (Former Teresa's Gardens)	L.A. Housing- SHIP Funding & LDA funding for the affordable tenure	154 (Social)	Stage 2 Approved. Planning was granted by An Bord Pleanála in September 2023. Detailed design and site investigation works are underway.	Tender the works	2027
<p>Update:</p> <p>This project will provide for the delivery of approximately 543 homes in a collaboration between Dublin City Council and the Land Development Agency, under a working title 'Donore Project'</p> <p>28% of the homes provided will be for social housing and 72% for cost rental housing.</p> <p>The breakdown of the social homes include:</p> <p>41% 1 bed which 50% will be available for Older Person Accommodation</p> <p>48% 2bed</p> <p>11% 3 Bed</p> <p>A Part 10 planning application was lodged on 9 December 2022 and was granted planning in September 2023</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C. (Rapid build)	Grand Canal Basin, D.8	L.A. Housing	108	Stage 1 Approval Design development ongoing	Complete design development and submit Stage 2 application to the DHLGH	2027
<p>Update:</p> <p>Stage 1 approval was received from the DHLGH in August 2023 to develop a new housing scheme with 108 new homes which will be a mix of one, two and three bedroom homes.</p>							
South Central	D.C.C.	Lissadell Maisonettes	L.A. Housing-Regeneration	79	Feasibility Stage	Submit Stage 1 application to D.H.L.G.H.	TBC
<p>Update:</p> <p>The feasibility study to review the options for the regeneration of Lissadell Maisonettes is now completed and has been sent for costing.</p> <p>A proposal to provide 79 general residential units is currently being considered.</p> <p>It is envisaged that the preparation of a Stage 1 application for the initial project and funding approval for submission to the DHLGH will commence once the options are costed.</p>							

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C.	Oliver Bond, D.8	L.A. Housing-Regeneration	48 Phase 1	Stage 1 Project Approval for Phase 1	Receive Stage 1 Budget Approval	TBC

Update:

A technical meeting was held on the 6th of September with the DHLGH & Key Stakeholders to discuss budget approval to progress Oliver Bond Regeneration to Stage 2, The DHLGH requested a further breakdown in associated costs relating to Phase 1 of the amalgamation of Blocks L, M & N plus the Infill. A more detailed review is being drawn up by the City Architects and DCC QS department to present to the DHLGH in mid-October. While awaiting response from DHLGH, the Project management team in conjunction with City Architects have submitted documents to etenders relating to a call off/mini tender for consultant services (PSDP, FIRE & DAC) for Phase 1 of the Regeneration/Amalgamation of Blocks L, M & N plus the proposed infill. A further etenders will need to be submitted for a similar call off/mini tender for other consultants (M&E, C&S, Landscaping, etc.). The Regeneration forum meeting which was held on the 21st of September were updated with the progress.

The next Regeneration meeting via zoom is to be held on the 6hth November 2023

South Central	D.C.C. (Rapid build)	Rafters Road /Crumlin Rd	L.A. Housing	38	Stage 1 Approval Stage 2 application has been submitted to the DHLGH	Receive Stage 2 approval and proceed with planning process	2026
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Update:

DCC has received Stage 1 initial project and budget approval for the delivery of a social housing scheme on this site.

The project proposal is to provide a new social housing scheme with a mix of one, two and three bedroom homes. An integrated design team has been progressing with design development.

Regeneration Projects in Development

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C.	School Street, Thomas Court Bawn, D.8	L.A. Housing-Regeneration	115	Stage 1 Approval – out to tender for a design team	Finalise the design & submit Stage 2 Application.	Q4 2028
<p>Update:</p> <p>DCC received Stage 1 approval from the D.H.L.G.H. for the regeneration of School Street and Thomas Court Bawn.</p> <p>A design team have now been appointed. Design of the new development & site surveys are ongoing.</p>							
South Central	D.C.C.	Tyrone Place, D8	L.A. Housing-Regeneration	96	Proposal Feasibility stage	Determine development options	2026
<p>Update:</p> <p>A review of the development options for the regeneration of Tyrone Place is currently being undertaken by Housing Management, the Local Area Office and City Architects. All are cognisant that redevelopment options will need to take into consideration the large social and cost rental housing scheme that is planned for the adjacent site at Emmet Road.</p>							
			TOTAL	1,969			

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	A.H.B.	Crosbie's Yard	C.A.S.	21	Stage 2 Approved	Complete Acquisition	Q4 2023
Central	A.H.B. (Peter McVerry Trust)	Halston Street, D7	C.A.S.	12 7 x 1 bed 5 x 2 bed	Appeal lodged to An Board Pleanála	Section 183 Disposal to Area Committee	2025
Update: Appeal on Planning Permission submitted to An Board Pleanála							
Central	D.C.C. P.P.P. Bundle 3	Ready Mix Site, East Wall Road, D.3	Social Housing P.P.P. Bundle 3	68	Part 8 Approval	Procurement Phase Q3 2023	Q4 2025
Update: The former ready mix site located on East Wall Road is one of three Dublin City Council sites included in Bundle 3 of the National Social Housing PPP Programme. Site location is accessible via this link https://www.google.ie/maps/@53.3597734,-6.2385626,176m/data=!3m1!1e3 The scheme will deliver 67 units comprising of 17no. One bed homes, 27no. Two bed homes and 23no. Three bed homes with 10% of the apartments being designed to Universal Design standards. The Project will deliver landscaped public/private open space and community facility, as part of the overall development. There have been a series of community consultations with local residents, Cllrs & Area Office officials. Part 8 approval was granted at the July City Council meeting. Planning approval has been secured for all six sites in PPP Bundle 3 across Dublin, Sligo, Kildare & Wicklow. The programme is now in the procurement phase, which can take up to 18 months to conclude.							
Central	A.H.B. (P.M.V.T.)	Sherrard St.	C.A.S.	12	Stage 1 approved	Funding Approval	Q4 2024

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	A.H.B. (Respond)	Belcamp B, D.17	C.A.L.F.	12	AHB appointed to develop this site	Design development	Q4 2024
<p>Update:</p> <p>The A.H.B. section will arrange an introductory meeting with Respond Housing and the local Councillors to discuss next stages for the development of Belcamp B & The Spine Site</p>							
North Central	D.C.C. P.P.P. Bundle 3	Collins Avenue Junction of Swords Road	Social Housing P.P.P. Bundle 3	83	Part 8 Approval	Procurement Phase Q3 2023	Q4 2025
<p>Update:</p> <p>This site, located on the junction of Collins Avenue and Swords Road is one of three Dublin City Council sites included in Bundle 3 of the National Social Housing PPP Programme. Site location is accessible via this link: https://www.google.ie/maps/@53.3813979,-6.2432866,270m/data=!3m1!1e3</p> <p>The scheme will deliver 83 homes comprising of 41no. One bed homes, 30no. Two bed homes and 12no. Three bed homes with 10% of the apartments being designed to Universal Design standards. The Project will deliver landscaped public/private open space and community facility, as part of the overall development. The Dublin Port Tunnel is located under the site and represented a significant constraint on the design of the scheme. There has been community consultations with local residents, Cllrs & Area Office officials.</p> <p>Part 8 approval was granted at the September City Council meeting. Planning approval has been secured for all six sites in PPP Bundle 3 across Dublin, Sligo, Kildare & Wicklow. . The programme is now in the procurement phase, which, can take up to 18 months to conclude.</p>							
North Central	L.D.A.	Cromcastle underpass site	L.A. Housing-SHIP funding	13 (Social)	Public Consultation is concluded. Planning Design	Planning Application to be lodged November 2023 by S179a Route	Q4 2026.
North Central	A.H.B. (Cabhru)	Philipsburg Avenue	C.A.L.F.	48	Appealed to An Bord Pleanála	Achieve Planning	Q3 2025

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	A.H.B. (Clúid)	Thatch Road, D.9 Swords Road	C.A.L.F.	57	Design review ongoing	Lodge Planning	2025
<p>Update:</p> <p>Design ongoing, engagement with Transport Infrastructure Ireland (TII) progressing</p>							
North West	A.H.B. (O’Cualann)	Ballymun L.A.P Site 19 St Joseph’s site	L.A. Housing	51 (34 Affordable and 17 Senior Citizens’)	Planning Permission was granted for 34 Affordable Purchase and 17 Sheltered units on 14 th June 2023. Further public consultation is currently ongoing.	Appointment of contractor	2025
<p>Update:</p> <p>A planning application was lodged following a public consultation process. DCC Housing are engaging with parish authorities on a land acquisition requirement which will maximise the site potential.</p>							
North West	D.C.C. In House	Kildonan Lands, D.11	L.A. Housing	90 Phase 1	Stage 1 approval for 90 D.C.C. units	Stage 2 approval	Q4 2026
<p>Update:</p> <ul style="list-style-type: none"> • Topographical survey of Kildonan area is being conducted • Further to a technical meeting held on the 6th of September, the City Architects followed up with the DHLGH to include an updated proposal to which 136 social housing units in Phase 1 and in addition 16 Tús Nua units. It is intended that and 73 affordable units will be provided in Phase 2. Excluding the Tus Nua supported housing units, this equates to a mix of 35% one bed, 37% two bed, 26% three bed, and 2% four bed homes, reflecting the need in the area. • A scheduled technical meeting with the City Architects & DHLGH is to be held on the 25th of October to review the updated proposal. 							

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North West	A.H.B. (Respond)	Merville Finglas Road	C.A.L.F.	180	Funding Application under assessment	Funding Approved Commence on site	Q4 2025
North West	D.C.C. P.P.P. Bundle 3	Shangan Road, Ballymun (L.A.P Site 10)	Social Housing P.P.P. (Bundle 3)	93	Part 8 Approval	Procurement Phase Q3 2023	Q4 2025
<p>Update:</p> <p>This site, located on Shangan Road east of the Ballymun Civic Centre and is one of three Dublin City Council sites included in Bundle 3 of the National Social Housing PPP Programme. https://goo.gl/maps/Gq24Ay8guGm99Xfr9</p> <p>The scheme will deliver 93 units comprising of 73 senior citizen apartments of which 67 are one bed and 6 are two bed apartments. The remaining 20 homes will comprise of 10 general need homes (5 x 2 bed; 4 x 3 bed and 1 x 4 bed) and 10 medical need homes (5 x 2 bed; 4 x 3 bed and 1 x 4 bed). The Project will deliver a new link road, landscaped public/private open space and community facility, as part of the overall development. There has been community consultations with local residents, Cllrs & Area Office officials.</p> <p>Part 8 approval was granted at the September City Council meeting. Planning approval has been secured for all six sites in PPP Bundle 3 across Dublin, Sligo, Kildare & Wicklow. The programme is now in the procurement phase, which, can take up to 18 months to conclude.</p>							
South East	A.H.B. (Respond)	LAR Redmond Centre, Keeper Rd., D.12	C.A.L.F.	20	Planning lodged	Planning Approval	Q3 2025
<p>Update:</p> <p>Pre Planning meeting held & design presented to the Community and the Area Committee, further design changes required planning to be lodged in May</p>							
South Central	D.C.C.	Cherry Orchard – Parkwest Phase 1	L.A. Housing	161 (Social)	Planning Design. Public Consultation is concluded.	Planning Application to be lodged to An Bord Pleanala in October 2023	Q4 2029

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C.	Cherry Orchard – Parkwest Phase 3	L.A. Housing	51 (Social)	Master planning is in progress.	Planning submission. Programme pending	Q4 2029
South Central	D.C.C.	31 Croftwood Drive	L.A. Housing	2	Single stage process	Detail Design Stage (2c)	2024
<p>Update:</p> <p>Part 8 Approval received March 2022. Request for Civil and Structural Engineering Services underway to allow for Stage 2c, detail design stage. The project consists of the full refurbishment of 31 Croftwood Drive and the construction of a second property, a new two storey three bedroom house in the side garden.</p>							
South Central	D.C.C.	Emmet Road (former St. Michael's Estate) D.8	D.H.L.G.H.	137 (Social Units)	Planning granted 6 th July 2023	Detailed Design & Tender Stage	2027 - 2028
<p>Update:</p> <ul style="list-style-type: none"> - This project will provide for the delivery of approximately 578 homes - 24% of the housing provided will be for social homes - The breakdown of social homes include: One-bed homes, Two-bed homes, Three-bed homes - A Part 10 planning application was granted on 6th July 2023. - Please note that this project is also recorded in this document under 'Cost Rental Homes' 							
South Central	A.H.B. (P.M.V.T.)	Fishamble St.	C.A.S.	10	Stage 2 application submitted	Funding approval Section 183 disposal to Area Committee	Q1 2025
<p>Update:</p> <p>Community Information event held in February for residents of Smock Alley, revision of design underway. Next stage submit Stage 2 & further pre planning meeting</p>							

Projects at an Advanced Stage of Planning or Design

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	A.H.B. (Alone)	Jamestown Court	C.A.L.F.	43	Planning lodged Appealed to An Board Pleanála	Grant Planning	2025
<p>Update:</p> <p>This is Phase 3 of this development, planning application submitted</p>							
South Central	A.H.B. (Respond)	Sarsfield Road, OLV Centre, D.10	C.A.S.	6	Planning Granted Stage 3 application	Section 183 Disposal Tender for Contractor	Q4 2024
South Central	D.C.C./A.H.B.	Sarsfield Road, D.10	L.A. Housing C.A.L.F.	176	Stage 1 Approval was received on 29 th August 2022	Stage 2 approval	2026
<p>Update:</p> <ul style="list-style-type: none"> • DHLGH granted Stage 1 Approval for the project following assessment of a Strategic Assessment Report • Project Planning has commenced for the Stage 2 Application • On- going engagement with the Sons of Divine Providence in relation to Title and development requirements 							
South Central	A.H.B. DePaul	South Circular Road	C.A.L.F.	4	Funding Application preparation Acquisitions and Refurb	Funding Approval	Q4 2023
South Central	A.H.B. P.M.V.T.	Weir Home	C.A.S.	19	Stage 1 Approved 29 th August 2023	Submit Stage 2	2025
			TOTAL	1,369			

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	A.H.B. (Clúid Housing)	Bannow Road	C.A.L.F.	150 approx.	Feasibility Stage	Detail Design	2026
<p>Update:</p> <p>Clúid Housing commenced feasibility, including site appraisal and development programme for the site</p>							
Central	A.H.B. (Tuath) (Depot Site)	Broombridge Road, D.7	C.A.L.F.	22	Planning Lodged	Grant Planning and commence tender for contractor	2025
<p>Update:</p> <p>Detailed design has been presented to Councillors and local residents.</p> <p>Tuath have had individual engagement with neighbours directly adjoining the site.</p>							
Central	D.C.C. P.P.P. Bundle 4	Croke Villas + Sackville Avenue D.3	Social Housing P.P.P. Bundle 4	75 61 + 14 x 3 bed houses	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
<p>Update:</p> <p>The site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the Central Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains consistent with the current Part 8 approvals. The Design Team conducted a detailed assessment of the current Part 8 approvals and has determined that a new Part 8 application will be brought forward for the apartments.</p> <p>The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023</p>							

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	A.H.B. FOLD (Depot Site)	Orchard Road, D.3	C.A.L.F.	37	Design team appointment	Lodge Planning	2025
<p>Update:</p> <p>Further work on site layout and detailed design under way</p>							
Central	A.H.B.	Russell Street, D.1	L.A. Housing	35	Feasibility Study Stage Further site assessment required	Appoint A.H.B.	2025
Central	D.C.C. (Depot Site) P.P.P. Bundle 4	Stanley Street, D.7	Social Housing P.P.P. Bundle 4	160-175	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
<p>Update:</p> <p>The Depot Site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the Central Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.</p> <p>The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023.</p>							

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	D.C.C. (Depot Site) P.P.P. Bundle 4	Collins Avenue, D. 9	Social Housing P.P.P. (Bundle 4)	120-130	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
<p>Update:</p> <p>The Depot Site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the North Central Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded. The tenure mix will be for social housing including a proportion of senior citizen homes</p> <p>A public information session took place on 26 September 2023 for local residents with representatives from the Project Team & Area Office in attendance. The Project Team will take on board the feedback from the community and move forward to finalising the design in preparation for Pre Part 8 initiation in Q1 2024</p>							
North Central	A.H.B. (Respond)	Darndale Spine D.17	C.A.L.F.	70	Feasibility and site assessment	Community and Councillor Engagement, Detail Design	2025
North Central	D.C.C.	Oscar Traynor Road	L.A. Housing	341	Pre-Construction	Construction to Commence in Q4 2023	Q1 2027
North Central	A.H.B.	Richmond Road, D 3 (21,27, & 29)	CALF or CAS	75 approx.	Feasibility Stage	Select A.H.B.	2025

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North West	D.C.C.	Ballymun L.A.P Site Carton Lands	L.A. Housing	100	Site rezoned for housing and full review of development potential under way	Road realignment works decided and completed	TBC
<p>Update:</p> <p>Road realignment is required for Bus Connects and the Local bus network which will affect Carton Lands site. Design is at an initial stage. D.C.C. Housing are liaising with Roads and O’Cualann in relation to this, housing provision on the site will be ascertained by the road realignment requirements once they are finalised.</p>							
North West	D.C.C. A.H.B.	Ballymun L.A.P Site 8 & 9 Coultry Gardens (NW of Coultry Park)	C.A.L.F.	45 + 30	Joint Expression of Interest with Site 9 currently being prepared for circulation following engagement with internal Departments and Area Office.	Issue Expression of Interest.	2025
North West	A.H.B. (Clúid)	Ballymun L.A.P Site 11 & 13 Sillogue Avenue	C.A.L.F.	100	Cluid assigned to develop sites. Initial Feasibility presented to D.C.C. Housing in June 2023.	Complete Design	2025

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North West	D.C.C. P.P. P. Bundle 4	Ballymun LAP Sites 5, 15, 16, 17 & 18 Santry Cross South Main Street West & Balcurris	Social Housing P.P.P. (Bundle 4)	220-305	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026

Update:

The LAP sites have been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the North West Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.

The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023.

- Site 5 mixed use development. Ground floor commercial, retail & crèche requirements are part of overall site strategy.
- Sites 15 & 16 will be two/three storey homes.
- Sites 17 and 18 will be apartment homes with commercial & retail requirements specific to Site 17 are part of the overall site strategy.

North West	D.C.C. P.P.P. Bundle 5	Barry Avenue, Finglas	Social Housing P.P.P. Bundle 5	60-75	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
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Update:

The site have been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 5. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the North West Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded. The PPP Project Team commenced early engagement with the Area Office and stakeholders' due to the specific challenges that need to be considered in the context of the site strategy.

The programme for the PPP Bundle 5 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023.

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North West	D.C.C. (P.P.P. Bundle 4)	Church of the Annunciation, Finglas, D.11	Social Housing P.P.P. (Bundle 4)	115-120	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026

Update:

The site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the North West Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.

The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023

North West	D.C.C.	Mellowes Court, Finglas	L.A. Housing	50	Proposal Feasibility Stage	Determine development options	TBC
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Update:

DCC City Architects are finalising their feasibility study for the redevelopment of this Older Persons scheme. Once completed, a review of the options will take place, which will determine the best development option and delivery mechanism for the site.

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North West	D.C.C. P.P.P. Bundle 4	Wellmount Road, Finglas	Social Housing P.P.P. Bundle 4	75-85	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026

Update:

The site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team commenced early engagement with the Area Office and stakeholders’ due to the specific challenges that need to be considered in the context of the site strategy.

The PPP Project Team presented an update to the North West Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded. The tenure mix for the site will be social housing.

Some key site-specific technical surveys have commenced for this site listed below.

- Landscape Survey for the Z9 zoning public open space
- Ecology – Winter Bird Survey
- Site Ground Investigations

The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023.

South East	A.H.B. (Clúid) (Depot Site)	Gulistan Terrace, D6	L.A. Housing	60 approx.	Design development and financial assessment	Lodge Planning	2026
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Update:

This development will also deliver 50% Cost Rental, approx. 60 units

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C. P.P.P. Bundle 4	Basin View, D.8	Social Housing P.P.P. Bundle 4	150-170	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026

The site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team commenced early engagement with the Basin Street Residents Group, Cllrs, Area Office and stakeholders' due to the specific challenges that need to be considered in the context of the site strategy. The Area Office has established monthly meetings with the Basin Residents Group along with the PPP Project Team attending meetings with programme updates. These meetings serve a dual purpose in relation to day to day housing matters plus keeping the community at the centre of all key project designs, reports and feedback.

The PPP Project Team presented an update to the South Central Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.

The Area Office will co-ordinate a public information session for the wider community in Q4 2023.

Project Action	Lead DCC Dept	Timeline
Community Engagement	Area Office	Established & Ongoing Monthly.
Site Design & Masterplan	PPP Project Team	Q1 2023 to Q3 2023
Reordering of land zoning	Planning Dept	Report to be brought to September 2023 City Council
Lodge Part 8 Planning	PPP Project Team	Q1 2024, this timeline will require the key milestones being met and overall support from all stakeholders to the project.

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	A.H.B. (Focus)	Braithwaite St.	C.A.L.F.	49	Section 183 approved	Commence on site	2025

Update:

Site part owned by D.C.C. Planning Permission granted. Financial appraisal under way

South Central	D.C.C. P.P.P. Bundle 5	Cherry Orchard Avenue, LAP Site 2, D.10	Social Housing P.P.P. Bundle 5	140-160	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
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Update:

LAP Site 2 has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 5. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the South Central Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.

The Area Office is leading on the stakeholder engagement and are being supported by the PPP Project Team.

The overall proposal will senior citizen housing, social housing two storey homes, affordable homes, as part of the overall LAP site strategy. The Neighbourhood Centre will be integrated with the senior citizen housing and will include ground floor retail units along with a new public open space.

Some key site-specific technical surveys ongoing or will commence in Q3 2023 for this site.

- Ecology & EU Flood Defence Office for the Blackditch River which runs diagonal underground through the site.
- Landscape Survey for public open space
- Ecology – Winter Bird Survey
- Site Ground Investigations

The programme for the PPP Bundle 5 sets out the initiation of planning in Q1 2024 subject to the outcome of the above surveys. The Area Office will co-ordinate a public information session for the wider community in Q1 2024.

Schemes at Pre Planning or Feasibility Stage

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C. (Depot Site)	Davitt Road, D.12	L.A. Housing	70		Determine development options and devise plan	TBC
South Central	Iveagh Trust A.H.B.	Dolphin/S.C.R. Site	C.A.L.F.	22 approx.	Feasibility and Design development	Lodge Planning	2025
<p>Update:</p> <p>Feasibility complete, community information meeting held, currently preparing for planning</p>							
South Central	D.C.C. (Depot Site) P.P.P. Bundle 4	Forbes Lane, D.8	Social Housing P.P.P. Bundle 4	100-110	Q4 2023 Detail Design & Stakeholder Engagement	Part 8 Q1 2024	Q4 2026
<p>Update:</p> <p>The Depot site has been approved by the Department of Housing, Local Government & Heritage for inclusion in the National Social Housing PPP Bundle 4. The Minister announced all sites in PPP Bundles 4 & 5 last June 2022. The PPP Project Team presented an update to the South Central Area Councillors members on site scale, density, progress to date & next steps in July of this year. It is important to note that the number of units set out above remains indicative until detailed design has concluded.</p> <p>The programme for the PPP Bundle 4 sets out the initiation of planning in Q1 2024. The Area Office will co-ordinate a public information session in Q4 2023</p>							
			TOTAL	2,661			

Traveller Accommodation Programme

Projects	Provider	Scheme	Funding Scheme	Units	Status	Next Milestone	Finish Date
North Central Stage 1	D.C.C.	Cara Park	L.A. Housing	9	Design Team in place. Preliminary consultations underway	Part 8 application	2024
North Central Stage 1	D.C.C.	Grove Lane	L.A. Housing	10	Preliminary design and consultation	CENA have had no engagement since 2020. Project stalled.	2024
North West Stage 1	D.C.C.	Avila. Park	L.A. Housing	3	Part 8 approved January 2022. Detailed design has started.	Detailed design	2024
North West Stage 1	D.C.C.	Redevelopment of St Margaret's	L.A. Housing	30	New consultation required as original plans were rejected by tenants on site.	Part 8 application	T.B.C.
North West Stage 1	D.C.C.	St. Mary's	L.A. Housing	2	Preliminary design completed. Copy of plan has been sent to Fingal for approval	Detailed design Needs agreement from Fingal	2024
South Central	D.C.C.	Labre Park	L.A. Housing	16	New design to be agreed	Part 8	2025
South Central Stage 1	D.C.C.	Reuben Street	L.A. Housing	1	Design team to be appointed	Detailed design	2024
			TOTAL	71			

Leasing

Summary 2023 Long Term Lease D.C.C. Direct Delivery	Units
Closed to date 2023	133
Overall Long Term Leasing Pipeline 2023	159
A.H.B. Leasing (Closed to date 2023)	20

Vacant (Void) Property Refurbishments completed in 2023 (Year to date)

Totals by Area	Central	North Central	North West	South Central	South East	Total
House	18	57	71	41	4	191
Apartment	99	22	17	64	69	271
Senior Citizens	33	38	53	40	49	213
Total	150	117	141	145	122	675

Number of properties refurbished and in our allocations process awaiting re-letting: **214**

These properties can be divided into: Vacant Council Properties: **797** Acquisitions: **92**

Total Number of units re-let or awaiting re-letting in 2023 (year to date): **889**

Current Refurbishment of Voids underway

Status	Central	North Central	North West	South Central	South East	Total
Awaiting Vacant possession	38	12	11	21	22	104
With Contractors	72	31	69	70	22	264
Direct Labour	34	5	34	34	19	126
Total	144	48	114	125	63	490

Buy and Renew Scheme: Derelict/Vacant properties 2023

Status of properties (44) below acquired under the Derelict Sites Act/C.P.O. and Acquisition process under the Buy and Renew Scheme

Property	Position
11 Annamoe Terrace, Dublin 7.	Estimated completion date Q4 2023.
1 Cherry Orchard Grove, Dublin 10.	Appoint design team.
27A Clune Road, Finglas, Dublin 11.	Appoint design team.
29A Clune Road, Finglas, Dublin 11.	Appoint design team.
19 Connaught Street, Dublin 7.	Part 8 Granted. Appoint design team and prepare tender.
21 Connaught Street, Dublin 7.	Part 8 Granted. Appoint design team and prepare tender.
13 Claddagh Green, Ballyfermot, Dublin 10.	Appoint design Team.
66 Clonliffe Road, Drumcondra, Dublin 3	Refurbishment in Progress.
6 Creighton Street, Dublin 2.	Appoint Design Team.
31 Cromcastle Drive, Kilmore, Dublin 5.	Acquired December 2022. Appoint Contractor.
15 Cromwellsfort Road, Dublin 12.	Acquired December 2022.
17 Cromwellsfort Road, Dublin 12.	Acquired December 2022.
8 Ferguson Road, Dublin 9.	Appoint Design Team.
10 Ferguson Road, Dublin 9.	Appoint Design Team.
12 Ferguson Road, Dublin 9.	Refurbishment in Progress.
175 Finglas Park, Finglas, Dublin 11.	Contractor Appointed. Estimated completion Q4 2023.
142 Harold's Cross Road, Dublin 6W.	Appoint Design Team
144 Harold's Cross Road, Dublin 6W.	Appoint Design Team.
197 Larkhill Road, Dublin 9.	Refurbishment in progress. Estimated completion date: Q4 2023.
109 Landen Road, Ballyfermot, Dublin 10.	Refurbishment in Progress.
66 Montpelier Hill, Stoneybatter, Dublin 7.	Refurbishment in progress. Estimated completion date: Q4 2023.

Property	Position
1 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
2 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
5 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
6 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
7 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
10 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
11 Mulberry Cottages, Chapelizod, Dublin 20.	Appoint design team.
414 North Circular Road, Dublin 7.	Refurbishment works in progress. Estimated completion date Q4 2024.
8 O'Dwyer Road, Walkinstown, Dublin 12.	Refurbishment Completed.
4 Ravensdale Road, East Wall Dublin 3.	Refurbishment works in progress. Estimated completion date Q3 2023.
6 St. Brendan's Park, Coolock, Dublin 5.	Refurbishment Completed.
68B St. Brendan's Park, Coolock, Dublin 5.	Appoint contractor. Estimated completion date Q4 2023.
6 Terrace Place, Dublin 1.	Appoint design team and prepare tender.
7 Terrace Place, Dublin 1.	Appoint design team and prepare tender.
8 Terrace Place, Dublin 1.	Appoint design team and prepare tender.
1 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
2 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
3 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
4 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
5 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
6 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
7 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.
8 Tyrrells Place, Dublin 1.	Appoint Contractor and prepare tender.

Vacant residential property acquisitions: We are currently negotiating the acquisition of **6** additional vacant residential properties under the buy and renew scheme. **Since this Buy and Renew scheme was introduced in 2018 and up to May 2023, D.C.C. have acquired 104 such properties and through the active engagement with owners of long-term vacant properties has initiated the return of an additional 50 properties to use in the City, with a further 54 currently under refurbishment.** The Housing Department vacant housing register has recorded **1247** residential properties by accessing data from the CSO, Geo-directory, Vacanthishomes.ie and internal databases.

Dublin City Council, Housing Development has undertaken **1145** site inspections with a further **70** inspections scheduled and **15** title searches currently in progress.

The City Council has implemented the Croí Conaithe scheme (November 2022 and revised August 2023) which allows for a grant of €50,000 to be made available to applicants to return a long term vacant/derelict property to use in a timely manner. The grant may be increased up to a maximum of €70,000 if the property is derelict. There are specific terms and conditions attached to the scheme which needs to be monitored into the future.

The City Council has to date received 220 applications, which are currently being processed.

The City Council continues to administer the RLS and enhanced RLS schemes and to date has received 45 applications for same.

36 number applications are for residential properties (RLS scheme) and 9 are for commercial properties (enhanced RLS scheme).

These applications have the potential for the delivery of a total number of 48 residential units.

Affordable Purchase Homes							
Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
Central	Housing Land Initiative	O 'Devaney Gardens Phase 1 & 2, 3	Affordable Housing Fund	233	Commencement of Enabling Works	Completion of Enabling Works	2026
North Central	D.C.C./A.H.B.	Belmayne	TBC	500	Feasibility	Selection of design team- decision on development options	2026
North Central	Housing Land Initiative	Oscar Traynor Road Phase 1 & 2	Affordable Housing Fund	86	Planning	Planning Decision	2025

Affordable Purchase Homes

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	Housing Land Initiative	Oscar Traynor Road Phase 3	Affordable Housing Fund	43	Planning	Planning Decision	2026
North Central	Housing Land Initiative	Oscar Traynor Road Phase 4	Affordable Housing Fund	43	Planning	Planning Decision	2027
North West	D.C.C.	Sillogue-Site 12	Affordable Housing Fund	101	Part 8 being prepared	Part 8	2025

Updates:

LAP 12 + Sillogue Road, LA Affordable Housing Scheme

101 houses – 66 3bed & 35 2bed

- 1. Part VIII: Q4 2022
- 2. Procure design and build: Q2 2023
- 3. Detailed design: Q3 and Q4 2023
- 4. Construction: 2024 -2025

North West	D.C.C.	Balbutcher – Site 14	Affordable Housing Fund	126	Part 8 being prepared	Part 8	2025
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Updates:

Finalising density requirements with Planning before proceeding to Part VIII Application.

North West	O Cualann	Ballymun-Site 21 (Sillogue Road)	Private Co-Op	12	Affordable Housing Fund has been granted. O’Cualann are currently negotiating with a contractor for commencement	Commence on site	2023
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Affordable Purchase Homes

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
					on site in mid-2023.		
North West	O Cualann	Ballymun-Sites 22/23	Private Co-Op	37	Complete	Complete	Complete
North West	O Cualann	Ballymun-Site 25 Parkview	Private Co-Op	44 (80 units on site – 36 Senior Citizens' and 44 Affordable Purchase)	Further Information response issued to DCC Planning by O'Cualann on 16 th June 2023. Planning decision pending. Disposal Instruction issued in advance of S183 Application	Planning Permission granted	Q4 2023 for S.C. units T.B.C. for others.
South East	D.C.C./A.H.B.	Poolbeg S.D.Z. Phase 1	T.B.C.	100	Pre-Planning	Submission of Planning application by developer-Phase 1	2024
South East	D.C.C./A.H.B.	Poolbeg S.D.Z. Phase 2	T.B.C.	250			2026
South Central	D.C.C.	Cherry Orchard – Phase 2	Affordable Housing Fund	168	Design Team appointed	Part 10 Application	2029
			TOTAL	1,743			

Cost Rental Homes

Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
North Central	L.D.A.	Cromcastle underpass site	Affordable Housing Fund + L.A. Housing	133 (146 units in total)	Planning Design.	Planning Application by S179a Route – November 2023	2026
North Central	A.H.B.	Griffin Hall, Hole in the Wall Road, D.13	C.A.L.F.	89	On Site	Funding Approval	Q1 2026
North Central	A.H.B. (Tuath)	Hole in Wall (Griffin Court)	Cost Rental Equity Loan (C.R.E.L.)	64	On site	Completion of Scheme	Q1 2025
North Central	A.H.B. (Clúid)	Oscar Traynor Road Phase 1 & 2	Cost Rental Equity Loan (C.R.E.L.)	170	Planning	Planning Decision	2027
North Central	A.H.B. (Clúid)	Oscar Traynor Road Phase 3	Cost Rental Equity Loan (C.R.E.L.)	85	Planning	Planning Decision	2027
North Central	A.H.B. (Clúid)	Oscar Traynor Road Phase 4	Cost Rental Equity Loan (C.R.E.L.)	85	Planning	Planning Decision	2027
North Central	A.H.B. (Clúid)	Parkside Phase 1	Cost Rental Equity Loan (C.R.E.L.)	73	On site – funding application under assessment	Completion of Scheme	Q4 2024
North West	A.H.B.	Coultry Road – Main Street, Ballymun, (Site 6), D.11	C.A.L.F.	279	Proposal received by two A.H.B.s. Financial model being reviewed by D.C.C. and the Department	Financial Approval	2026
South East	A.H.B.	Gulistan	Cost Rental Equity Loan (C.R.E.L.)	60	Design Development and site assessment	Lodge Planning	2026

Cost Rental Homes							
Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	L.D.A.	Bluebell	Affordable Housing Fund + L.A. Housing	270	Capacity Study	Design Team	T.B.C.
South Central	L.D.A.	Cherry Orchard-Parkwest Phase 1	Affordable Housing Fund + L.A. Housing	547 (708 units in total)	Planning Design. Public Consultation is concluded.	Planning Application to An Bord Pleanála in October 2023	Q4 2029
South Central	L.D.A.	Cherry Orchard/Parkwest Phase 3	Affordable Housing Fund + L.A. Housing	203 (254 units in total)	Master planning in progress	Planning submission. Programme pending	Q4 2029
South Central	A.H.B. (Circle)	Coruba House, Crumlin	Cost Rental Equity Loan (C.R.E.L.)	75	Planning appeal	Grant Planning	Q4 2024
South Central	L.D.A.	Donore Avenue (St. Teresa's)	Affordable Housing Fund + L.A. Housing	389 (543 units in total)	A planning grant was received from An Bord Pleanála in Sept.2023. Detailed design and site investigation works are in progress.	Tender Stage	2027
<p>Update:</p> <p>This project will provide for the delivery of approximately 543 homes in a collaboration between Dublin City Council and the Land Development Agency, under a working title 'Donore Project'.</p> <p>72% of the homes provided will be for Cost Rental housing.</p> <p>The breakdown of cost rental homes include: Studio, One-bed homes, Two-bed homes, Three-bed homes</p> <p>A Part 10 planning application was lodged in Q4 2022 and was granted planning in September 2023</p>							

Cost Rental Homes							
Committee Area	Provider	Schemes	Funding Stream	Units	Current Stage	Next Milestone	Finish Date
South Central	D.C.C.	Emmet Road	H.F.A. & A.H.F. (Affordable Housing fund)	441	Planning granted 6 th July 2023	Detailed Design & Tender Stage	2027 - 2028
<p>Update: This project will provide for the delivery of approximately 578 homes. 76% of the homes provided will be for Cost Rental housing. The breakdown of cost rental homes include: Studio, One-bed homes, Two-bed homes, Three-bed homes A Part 10 planning application was granted on 6th July 2023 Please note that this project is also recorded in this document under 'Regeneration Projects in Development'</p>							
			TOTAL	2,963			

Tenants in Situ Acquisitions

DCC Acquisition with Tenants remaining in Situ

Stage		No of properties
1	Initial Contact & Tenant checks	105
2	Property inspection	39
3	Valuation and offer	65
4	Sale agreed - Conveyancing Legals	186
	Total	395
	Acquisitions Complete	142

DCC Acquisition of Vacant properties

Stage		No of properties
1	Property inspection	60
2	Valuation and offer	32
3	Sale agreed - Conveyancing Legals	69
	Total	161
	Acquisitions Complete	92

Overview of DCC Housing Delivery 2022

Total Units delivered in 2022: 1,324

2022 Delivery	Central	North Central	North West	South Central	South East	All Areas	Total
Newly Built Social	234	95	73	206	77		685
Part V Leasing	3	28	68	29			128
Long Term Leasing	149	101	23	87	7		367
Acquisitions Programme						144	144
Total	386	224	164	322	84	144	1324

HOUSING ALLOCATIONS REPORT OCTOBER 2023

CURRENT WAITING LIST STATISTICS AND LATEST LETTINGS REPORT

OCTOBER 2023

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Tables 1 (a) - OCTOBER 2023 **WAITING LIST** FIGURES BY PRIORITY BAND CATEGORY AND AREA

October 2023 Housing Waiting List figures by Band Category									TABLE 1 (a)		
BAND 1 HOUSING	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Traveller Priority	47	10	13	1	26	9	1		1		108
Housing Medical Priority	47	5	27	10	15	18	7	6	11	2	148
Housing Medical Priority older person	1	1	2	4	2		3		6	2	21
Welfare Priority	19	6	9	5	8	4	1	2			54
Welfare Priority older person	2	1							1		4
Homeless Priority	20	9	19	16	6	7	8	4	5	3	97
Homeless Priority older person	20	4	11	11	9	5	12	7	7	2	88
Band 1 Grand Total	156	36	81	47	66	43	32	19	31	9	520
BAND 2 HOUSING	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Band 2 Housing List	2026	503	1042	777	718	718	443	338	377	143	7085
Band 2 Housing List older person	44	10	44	33	24	30	22	34	50	4	295
Band 2 Grand Total	270	513	1086	810	742	748	465	372	427	147	7380
BAND 3 HOUSING	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Band 3 Housing List	1626	308	814	482	521	484	341	284	367	92	5319
Band 3 Housing List older person	187	21	146	61	67	74	57	68	93	20	794
Band 3 Grand Total	1813	329	960	543	588	558	398	352	460	112	6113
HOUSING LIST TOTAL	4039	878	2127	1400	1396	1349	895	743	918	268	14013

Tables 1 (b)(c) - OCTOBER 2023 **WAITING LIST** FIGURES BY PRIORITY BAND CATEGORY AND AREA

October 2023 Transfer Waiting List figures by Band Category								TABLE 1 (b)			
BAND 1 TRANSER LIST	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Surrendering Larger priority	19	9	24	17	24	12	21	11	3	6	146
Transfer HAP Band 1	1559	349	902	387	521	432	283	194	248	62	4937
Transfer HAP Band 1 Older Person	21		9	11	9	5	4	5	8	4	76
Transfer Medical priority	59	14	36	32	18	26	27	16	10	9	247
Transfer Medical priority older person	14	6	16	23	4	4	12	4	4	1	88
Transfer Welfare priority	61	14	48	12	30	30	14	10	12	3	234
Transfer Welfare priority older person	1		1	2	5	2	4	2	2	1	20
Band 1 Transfer List Grand Total	1734	392	1036	484	611	511	365	242	287	86	5748
BAND 2 TRANSFER LIST	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Band 2 Transfer List	545	139	383	267	222	268	226	183	162	41	2436
Band 2 Transfer List older person	75	8	73	45	16	24	9	45	31	10	336
Band 2 Transfer List Grand Total	620	147	456	312	238	292	235	228	193	51	2772
BAND 3 TRANSFER LIST	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Band 3 Transfer List	2175	349	1231	643	696	651	643	461	362	132	7343
Band 3 Transfer List older person	136	45	164	98	85	55	114	71	69	21	858
Band 3 Transfer List Grand Total	2311	394	1395	741	781	706	757	532	431	153	8201
TRANSFER LIST TOTAL	4665	933	2887	1537	1630	1509	1357	1002	911	290	16721
October 2023 Combined Waiting List Figures by Band Category								TABLE 1 (c)			
WAITING LIST	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
HOUSING LIST TOTAL	4039	878	2127	1400	1396	1349	895	743	918	268	14013
TRANSFER LIST TOTAL	4665	933	2887	1537	1630	1509	1357	1002	911	290	16721
COMBINED GRAND TOTAL	8704	1811	5014	2937	3026	2858	2252	1745	1829	558	30734

Tables 2 (a)(b)(c) - OCTOBER 2023 **WAITING LIST** FIGURES BY WAITING TIME AND AREA

October 2023 HOUSING Waiting List figures by Waiting Time							TABLE 2 (a)				
Time on List	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
0 to 1 year	657	172	311	166	207	179	87	65	97	18	1959
1 to 5 years	1895	432	974	703	649	593	436	332	380	140	6534
5 to 10 years	908	175	439	318	295	318	208	189	206	50	3106
over 10 years	579	99	403	213	245	259	164	157	235	60	2414
Grand Total	4039	878	2127	1400	1396	1349	895	743	918	268	14013

October 2023 TRANSFER Waiting List figures by Waiting Time							TABLE 2 (b)				
Time on List	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
0 to 1 year	158	52	132	99	69	61	63	37	34	18	723
1 to 5 years	1745	328	995	498	532	484	451	325	361	104	5823
5 to 10 years	1635	311	944	507	527	466	403	297	266	61	5417
over 10 years	1127	242	816	433	502	498	440	343	250	107	4758
Grand Total	4665	933	2887	1537	1630	1509	1357	1002	911	290	16721

October 2023 COMBINED Waiting List figures by Waiting Time							TABLE 2 (c)				
Time on List	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
0 to 1 year	815	224	443	265	276	240	150	102	131	36	2682
1 to 5 years	3640	760	1969	1201	1181	1077	887	657	741	244	12357
5 to 10 years	2543	486	1383	825	822	784	611	486	472	111	8523
over 10 years	1706	341	1219	646	747	757	604	500	485	167	7172
Grand Total	8704	1811	5014	2937	3026	2858	2252	1745	1829	558	30734

Tables 3 (a)(b)(c) - OCTOBER 2023 **WAITING LIST** FIGURES BY BEDSIZE REQUIREMENTS AND AREA

October 2023 HOUSING Waiting List figures by Bedsize Req							TABLE 3 (a)				
Bedsize Required	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
1 Bed	2527	557	1380	1092	828	803	710	565	667	209	9338
2 Bed	1095	238	521	185	422	352	118	119	162	33	3245
3 Bed	383	71	202	100	127	161	55	50	73	21	1243
4 Bed	31	10	21	18	17	31	11	8	15	4	166
5 Bed	3	2	3	5	2	2	1	1	1	1	21
Grand Total	4039	878	2127	1400	1396	1349	895	743	918	268	14013

October 2023 TRANSFER Waiting List figures by Bedsize Req							TABLE 3 (b)				
Bedsize Required	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
1 Bed	1351	266	971	820	498	430	717	487	453	144	6137
2 Bed	2164	410	1212	458	740	638	421	335	291	99	6768
3 Bed	1063	227	627	231	346	383	199	158	143	39	3416
4 Bed	80	25	66	28	41	54	18	21	23	7	363
5 Bed	7	5	11		5	4	2	1	1	1	37
Grand Total	4665	933	2887	1537	1630	1509	1357	1002	911	290	16721

October 2023 COMBINED Waiting List figures by Bedsize Req							TABLE 3 (c)				
Bedsize Required	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
1 Bed	3878	823	2351	1912	1326	1233	1427	1052	1120	353	15475
2 Bed	3259	648	1733	643	1162	990	539	454	453	132	10013
3 Bed	1446	298	829	331	473	544	254	208	216	60	4659
4 Bed	111	35	87	46	58	85	29	29	38	11	529
5 Bed	10	7	14	5	7	6	3	2	2	2	58
Grand Total	8704	1811	5014	2937	3026	2858	2252	1745	1829	558	30734

Tables 4 (a)(b)(c) - OCTOBER 2023 **WAITING LIST** FIGURES BY FAMILY SIZE AND AREA

October 2023 HOUSING Waiting List figures by Family Size							TABLE 4 (a)				
Family Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Singles	2401	536	1301	1042	776	761	665	535	621	200	8838
Couples	115	20	71	48	43	38	43	29	43	10	460
Families	1523	322	755	310	577	550	187	179	254	58	4715
Grand Total	4039	878	2127	1400	1396	1349	895	743	918	268	14013

October 2023 TRANSFER Waiting List figures by Family Size							TABLE 4 (b)				
Family Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Singles	1185	242	849	738	438	370	634	435	403	121	5415
Couples	160	25	118	78	56	57	80	47	49	23	693
Families	3320	666	1920	721	1136	1082	643	520	459	146	10613
Grand Total	4665	933	2887	1537	1630	1509	1357	1002	911	290	16721

October 2023 COMBINED Waiting List figures by Family Size							TABLE 4 (c)				
Family Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Singles	3586	778	2150	1780	1214	1131	1299	970	1024	321	14253
Couples	275	45	189	126	99	95	123	76	92	33	1153
Families	4843	988	2675	1031	1713	1632	830	699	713	204	15328
Grand Total	8704	1811	5014	2937	3026	2858	2252	1745	1829	558	30734

Table 5 (a) - OCTOBER 2023 HOUSING WAITING LIST FIGURES BY BEDROOM REQUIREMENTS AND WAITING TIME ON LIST

October 2023 Housing List Figures by Bedsize requirement and Time on List										TABLE 5 (a)		
Size	Years	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
One bed	0 to 1 year	422	114	193	119	144	107	76	51	70	12	1308
	1 to 5 years	1168	259	652	557	378	393	346	266	288	118	4425
	5 to 10 years	576	120	284	249	186	180	158	142	148	35	2078
	over 10 years	361	64	251	167	120	123	130	106	161	44	1527
One Bed Total		2527	557	1380	1092	828	803	710	565	667	209	9338
Two Bed	0 to 1 year	192	49	99	30	53	59	8	8	20	4	522
	1 to 5 years	574	143	271	102	237	150	64	55	62	12	1670
	5 to 10 years	239	36	103	38	79	82	32	27	41	12	689
	over 10 years	90	10	48	15	53	61	14	29	39	5	364
Two bed Total		1095	238	521	185	422	352	118	119	162	33	3245
Three Bed	0 to 1 year	41	9	18	12	8	10	1	6	7	1	113
	1 to 5 years	132	24	46	36	27	42	22	8	25	8	370
	5 to 10 years	90	17	52	23	27	48	16	18	15	3	309
	over 10 years	120	21	86	29	65	61	16	18	26	9	451
Three Bed Total		383	71	202	100	127	161	55	50	73	21	1243
Four Bed	0 to 1 year	2		1	3	2	3	2				13
	1 to 5 years	18	5	5	6	7	7	3	3	5	2	61
	5 to 10 years	3	1		7	3	7	2	2	2		27
	over 10 years	8	4	15	2	5	14	4	3	8	2	65
Four bed Total		31	10	21	18	17	31	11	8	15	4	166
Five Bed	0 to 1 year				2						1	3
	1 to 5 years	3	1		2		1	1				8
	5 to 10 years		1		1		1					3
	over 10 years			3		2			1	1		7
Five Bed Total		3	2	3	5	2	2	1	1	1	1	21
Grand Total		4039	878	2127	1400	1396	1349	895	743	918	268	14013

Table 5 (b)- OCTOBER 2023 HOUSING WAITING LIST FIGURES BY FAMILY SIZE AND AREA

October 2023 HOUSING Waiting List figures by Family Size							TABLE 5 (b)				
Family Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Single	2401	536	1301	1042	776	761	665	535	621	200	8838
Single + 1	718	164	335	101	309	211	65	75	84	21	2083
Single + 2	294	69	137	58	102	122	29	31	38	9	889
Single + 3	106	25	59	22	44	52	15	9	14	5	351
Single + 4	33	3	23	6	12	9	3	2	4	4	99
Single + 5	5	3	4	5	4	4	1	1	4	1	32
Single + 6	1			2	1	1			1		6
Single + 7		1	1			1					3
Singles Total	3558	801	1860	1236	1248	1161	778	653	766	240	12301
Couple	115	20	71	48	43	38	43	29	43	10	460
Couple + 1	118	16	61	26	28	44	23	18	37	4	375
Couple + 2	120	23	66	40	39	35	22	25	36	6	412
Couple + 3	85	8	42	23	23	34	17	9	25	3	269
Couple + 4	31	6	17	15	9	20	7	6	4	2	117
Couple + 5	6	1	6	5	4	13	3	1	6	1	46
Couple + 6	4	3	2	3	2	2	1	2	1	1	21
Couple + 7	2		2	4		2	1			1	12
Couples Total	481	77	267	164	148	188	117	90	152	28	1712
Grand Total	4039	878	2127	1400	1396	1349	895	743	918	268	14013

Table 6 - JAN TO SEPTEMBER 2023 LETTINGS LISTS BY CATEGORY AND MONTH

September 2023 Total Lettings																				
Category Of Award	Housing List										Transfer List									Table 3
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept		Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Combine d Total
BAND 1 Page 188	Medical	4	5	9	6	3	12	12	6	13	9	8	13	6	11	14	13	7	8	160
	Welfare	2	4	3	2	1	11	4	7	3	4	10	7	7	7	9	12	6	6	105
	Traveller priority		1	1	1	1	2	1	4	4										15
	Fire Emergency													2		1		1		4
	Surrendering Larger										3	4	5	2	8	12	9	6	5	54
	Tied Accommodation																			
	Detenancing										3	25	7	4	3	4	8	9	8	71
	Estate Management																			
	Essential Maintenance											1				1				2
	Transfer Hap Priority										16	8	16	15	15	21	11	20	24	146
	Homeless Priority	17	12	24	15	24	21	19	18	17										167
	Financial Contribution			1			1	2	1											5
	Regeneration																			
Band 1 Total	23	22	38	24	29	47	38	36	37	35	56	48	36	44	62	53	49	51	729	
BAND 2	Band 2	26	33	49	39	45	59	40	56	73	15	6	22	16	24	25	17	19	30	594
BAND 3	Band 3	14	8	14	5	10	3	11	15	23	9	17	17	10	14	17	14	29	37	267
	Lettings by Month	63	63	101	68	84	109	89	107	133	59	79	87	62	82	104	84	97	118	1589
	TOTAL HOUSING/TRANSFER LIST LETTINGS	817									772									1589
	Combined Housing & Transfer Total	1589																		
	Other Lists not in Bands																			
	Mortgage to Rent	2																		
	RAS																			
	Overall total incl RAS and MTR	1591																		

Table 7 - JAN TO SEPTEMBER 2023 LETTINGS LISTS BY PRIORITY BAND & CASES HOUSED WITH DISABILITIES

Row Labels	Housing List	Transfer list	Grand Total	Medical Priority Cases Housed in Jan - Sep 2023			
De-Tenancing		71	71	Row Labels	Housing List	Transfer list	Grand Total
Essential Maintenance		2	2	Intellectual	3	2	5
Financial Contribution	5		5	Mental Health	10	9	19
Fire Emergency		4	4	Physical	28	25	53
Homeless Priority	167		167	Sensory	2	2	4
Medical Priority	70	89	159	Grand Total	43	38	81
Surrendering Larger THA		54	54	Other Cases Housed with disabilities Jan - Sep 2023			
Traveller Priority	15		15	Row Labels	Housing List	Transfer list	Grand Total
Welfare Priority	37	68	105	Intellectual	4	7	11
Band 1 Total	294	434	728	Mental Health	12	14	26
				Physical	15	22	37
Band 2	420	174	594	Sensory	4	3	7
				Grand Total	35	46	81
Band 3	103	164	267	Total Cases Housed with disability attached Jan - Sep 2023			
				Row Labels	Housing List	Transfer list	Grand Total
Grand Total	817	772	1589	Intellectual	7	9	16
Combined Housing & Transfer Total	1589			Mental Health	22	23	45
Other Lists not in Bands				Physical	43	47	90
Mortgage to Rent	2			Sensory	6	5	11
RAS				Grand Total	78	84	162
Overall total Incl RAS and MTR	1561						

Table 7 (a) JAN TO MARCH 2023 HOMELESS LETTINGS BY FAMILY SIZE AND AREA COMMITTEE

						Table 7 (a)
Homeless Housed by Family Size	Central Area	North Central Area	North West Area	South Central Area	South East Area	Grand Total
Singles	32	13	35	40	36	156
Couples	2	2	2	3		9
Families			1	1		2
Grand Total	34	15	38	44	36	167

Tables 8 (a)(b) - JAN TO SEPTEMBER 2023 DCC, LEASING AND VOLUNTARY LETTINGS LIST

DCC UNITS	HOUSING LIST LETTINGS JAN - SEP 2023										Table 8 (a)
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Financial Contribution			1		4						5
Homeless Priority	6		20	12	9	8	11	16	13	4	99
Medical Priority	5	2	6	5	4	7	3	5		3	40
Traveller Priority	4	1	3			1	1				10
Welfare Priority	6	2	5	3	5	3	1	2		2	29
Band 1 Total	21	5	35	20	22	19	16	23	13	9	183
Band 2	33	9	27	41	21	13	33	18	1	43	239
Band 3	11	6	10	12	3	6	10	3		11	72
Housing list DCC Units Total	65	20	72	73	46	38	59	44	14	63	494
SOCIAL LEASE UNITS											Social Leasing
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Homeless Priority	1		4	1							6
Medical Priority			9		1						10
Traveller Priority			2								2
Welfare Priority			3							1	4
Band 1 Total	1		18	1	1					1	22
Band 2			45	1	2	1	1			1	51
Band 3			16	1							17
Housing list Social Leasing Units Total	1		79	3	3	1	1			2	90
VOLUNTARY UNITS											Voluntary
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Homeless Priority	8	3	11	15	1	2	15	1	4	2	62
Medical Priority	3	1	3	2	4		3	2		2	20
Traveller Priority		1	1				1				3
Welfare Priority	1		1				1			1	4
Band 1 Total	12	5	16	17	5	2	20	3	4	5	89
Band 2	20	5	22	18	21	1	17	6	6	14	130
Band 3	1	1	4		4		2	1	1		14
Housing List Voluntary Units Total	33	11	42	35	30	3	39	10	11	19	233
Housing list Total	99	31	193	111	79	42	99	54	25	84	817

*RAS, MORTGAGE TO RENT OR HAP tenancy figures not included in the above tables

DCC UNITS	TRANSFER LIST LETTINGS JAN - SEP 2023										Table 8 (b)
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
De-Tenancing	6	1	5	50		1	3			2	68
Essential Maintenance				1		1					2
Fire / Flood		2	2								4
Medical Priority	16		13	7	9	9	6	13		4	77
Surrendering Larger		4	5	6	9	3	5	6	1	1	40
THA	19	1	16	11	10	5	16	10		7	95
Welfare Priority	9	2	3	10	10	6	7	3		5	55
Band 1 Total	50	10	44	85	38	25	37	32	1	19	341
Band 2	21	2	18	19	6	11	22	5	1	10	115
Band 3	28	9	26	12	7	9	6	6	1	10	114
Transfer List DCC Units Total	99	21	88	116	51	45	65	43	3	39	570
SOCIAL LEASING UNITS											Leasing
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
De-Tenancing			1								1
Medical Priority			1								1
Surrendering Larger			4			1					5
THA			16			1				2	19
Welfare Priority			6								6
Band 1 Total			28			2				2	32
Band 2			18			2				2	22
Band 3			15		1		1				17
Transfer list Social Leasing Total			61		1	4	1			4	71
VOLUNTARY UNITS											Voluntary
Category Of Award	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
De-Tenancing	1			1							2
Medical Priority	1		1		2	1		1	1	4	11
Surrendering Larger	3	1	3	1	1						9
THA	2	4	4	8	6		1	1	1	5	32
Welfare Priority	1		1	1	3		1				7
Band 1 Total	8	5	9	11	12	1	2	2	2	9	61
Band 2	8	4	7	1	4		5	2	2	4	37
Band 3	6	1	3	7	5		7	1		3	33
Transfer List Voluntary Total	22	10	19	19	21	1	14	5	4	16	131
Transfer List Total	121	31	168	135	73	50	80	48	7	59	772
Combined Housing & Transfer	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Housing list Total	99	31	193	111	79	42	99	54	25	84	817
Transfer List Total	121	31	168	135	73	50	80	48	7	59	772
Grand Total	220	62	361	246	152	92	179	102	32	143	1589

***RAS, MORTGAGE TO RENT OR HAP tenancy figures not included in the above tables**

Tables 9 (a)(b)(c) - JAN TO SEPTEMBER 2023 LETTINGS LIST FIGURES BY DWELLING SIZE AND AREA HOUSED

Housing List Lettings Jan- Sep 2023 by Dwelling Size and Area Housed											Table 9 (a)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Bedsit	8	1	21	16	1	6	5	13	12	16	99
1 Bed	26	7	80	49	26	8	51	28	12	18	305
2 Bed	29	13	69	42	37	21	41	11	1	45	309
3 Bed	32	7	21	4	15	7	2	2		5	95
4 Bed	5	3	2		1						11
Grand Total	100	31	193	111	80	42	99	54	25	84	819

Transfer List Lettings Jan- Sep 2023 by Dwelling Size and Area Housed											Table 9 (b)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Bedsit	11	1	4	5		5	3	3	2	2	36
1 Bed	27	8	50	40	26	10	36	24	4	15	240
2 Bed	35	15	81	72	30	19	29	19	1	35	336
3 Bed	43	6	28	17	17	16	12	2		7	148
4 Bed	5	1	5	1							12
Grand Total	121	31	168	135	73	50	80	48	7	59	772

Combined Housing & Transfer List Lettings Jan- Sep 2023 by Dwelling Size and Area Housed											Table 9 (c)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Bedsit	19	2	25	21	1	11	8	16	14	18	135
1 Bed	53	15	130	89	52	18	87	52	16	33	545
2 Bed	64	28	150	114	67	40	70	30	2	80	645
3 Bed	75	13	49	21	32	23	14	4		12	243
4 Bed	10	4	7	1	1						23
Grand Total	221	62	361	246	153	92	179	102	32	143	1591

* RAS, Mortgage to Rent or HAP tenancy figures not included in the above tables

Tables 10 (a)(b)(c) - JAN TO SEPTEMBER 2023 LETTINGS LIST FIGURES BY CATEGORY OF LETTING AND AREA HOUSED

Housing List Lettings Jan - Sep 2023 by Letting Category and Area Housed											Table 10 (a)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Maisonettes			1								1
Mortgage to Rent	1				1						2
New Refurbished House	1										1
Newbuild Apartment	12			16	6	7	12	6		24	83
Newbuild House	8			1	9					4	22
Previously Occupied (Apartment)	7	7	6	33	5	6	43	20		24	151
Previously Occupied (House)	15	10	17	2	5	7				5	61
Purchase of Previously Occupied Dwelling	14	2	11	5	2	7	2	2	1	3	49
Senior Citizen Existing unit	8	1	34	16	7	9	2	16	13	3	109
Senior Citizen new build Unit					12						12
Senior Citizen Refurbished Unit			3			2					5
Social Leasing	1		79	3	3	1	1			2	90
Voluntary Housing	33	11	42	35	30	3	39	10	11	19	233
Grand Total	100	31	193	111	80	42	99	54	25	84	819

Transfer List Lettings Jan- Sep 2023 by Letting Category and Area Housed											Table 10 (b)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
New Refurbished House				1							1
Newbuild Apartment	12			55	3	10	19	5		22	126
Newbuild House	3			3	8					8	22
Previously Occupied (Apartment)	8	4	4	31	6	3	33	19	1	3	112
Previously Occupied (House)	20	6	24	6	7	8	3	3		1	78
Purchase of Previously Occupied Dwelling	31	9	37	9	6	14	6	3		2	117
Senior Citizen Existing unit	25	2	23	11	8	10	4	13	2	3	101
Senior Citizen new build Unit					13						13
Social Leasing			61		1	4	1			4	71
Voluntary Housing	22	10	19	19	21	1	14	5	4	16	131
Grand Total	121	31	168	135	73	50	80	48	7	59	772

Combined Housing & Transfer List Lettings Jan- Sep 2023 by Letting Category and Area Housed											Table 10 (c)
Dwelling Size	Area B	Area D	Area E	Area H	Area J	Area K	Area L	Area M	Area N	Area P	Grand Total
Maisonettes			1								1
Mortgage to Rent	1				1						2
New Refurbished House	1			1							2
Newbuild Apartment	24			71	9	17	31	11		46	209
Newbuild House	11			4	17					12	44
Previously Occupied (Apartment)	15	11	10	64	11	9	76	39	1	27	263
Previously Occupied (House)	35	16	41	8	12	15	3	3		6	139
Purchase of Previously Occupied Dwelling	45	11	48	14	8	21	8	5	1	5	166
Senior Citizen Existing unit	33	3	57	27	15	19	6	29	15	6	210
Senior Citizen new build Unit					25						25
Senior Citizen Refurbished Unit			3			2					5
Social Leasing	1		140	3	4	5	2			6	161
Voluntary Housing	55	21	61	54	51	4	53	15	15	35	364
Grand Total	221	62	361	246	153	92	179	102	32	143	1591

* RAS, Mortgage to Rent or HAP tenancy figures not included in the above tables

To the chairperson & members of
the North Central Area Committee

**North Central Area Committee Dublin City Sport & Wellbeing Partnership Report
November 2023**

Please see below details of Sport and Co-funded Officers who work across communities in the North Central Area and Citywide officers who deliver programmes in all five electoral areas.

North Central Area – Sport Officers

Name	Area	Office	Email	Phone Number
<p>Officer to be appointed— these areas continue to be supported in the interim. Sport Officer competition advertised in August. Closing date 8th September 2023.</p>	<p>Donaghmede, Kilbarrack, Belmayne, Clarehall, Clongriffin,</p>			
<p>Olivia Shattock</p>	<p>Clonshaugh, Coolock, Darndale, Edenmore.</p>	<p>Kilmore Community Centre</p>	<p>olivia.shattock@dublincity.ie</p>	<p>086 383 5020</p>

Name	Area	Office	Email	Phone Number
Fergal Scally	Artane, Beaumont Clonshaugh Industrial Estate, Donnycarney, Kilmore.	Kilmore Community Centre	fergal.scally@dublincity.ie	087 118 1885
John McDonald	Santry, Whitehall	Poppintree Community Sports Centre	john.mcdonald@dublincity.ie	087 112 7291
John Sweeney	Clontarf, Fairview, Killester, Howth Road, Raheny.	Ballybough Youth & Community Centre	john.sweeney@dublincity.ie	087 980 9095

North Central Area – Sport Specific Officers

Name	Sport	Specific Area	Email	Phone Number
FAI Officer to be appointed	Football	Artane, Clontarf, Donaghmede, Whitehall		
Neil Keoghan	Football	Marino, Santry, Whitehall,	neil.keoghan@fai.ie	083 879 5580.
Rob Wolfe	Rugby	North Central Area	rob.wolfe@leinsterrugby.ie	083 3872 945
Noel Burke	Boxing	North Central Area	noelkarenburke@gmail.com	086 326 5777

Name	Sport	Email	Phone Number
Carmel O'Callaghan	Active Cities Officer (Dublin City)	carmel.ocallaghan@dublincity.ie	087 265 8577
Colette Quinn	Athletics - North City	colettequinn@athleticsireland.ie	085 871 2817.
Fintan McAllister	Cricket	fintan.mcallister@cricketleinster.ie	086 179 5587
Aoife Byrne	Rowing	dublincoordinator@rowingireland.ie	087 269 6071
Christine Russell	Swimming	christinerussell@swimireland.ie	086 128 7087
David Phelan	Health Promotion and Improvement	david.phelan@dublincity.ie	087 652 5001
Heather Jameson	Football For All (Disability) – North City	heather.jameson@fai.ie	083 879 3086
Gráinne Vaugh (maternity leave). Replacement Niall Kerley	Women's Rugby Development	niall.kerley@leinsterrugby.ie	087 740 3266

2023 – Linking in with National Events & Initiatives

The primary goal of DCSWP is to provide opportunities for everyone to get involved in sport & physical activity regardless of age, gender or ability. In 2023 DCSWP continues to align the planning and delivery of programmes with national and international events. This strategic approach helps maximise promotion of the service, adds momentum to local programmes and initiatives and ultimately increases reach across communities in Dublin City.

In November DCSWP will be highlighting programmes male focused programmes to coincide with Men's Health week (15th – 20th) and International Men's Health Day (19th Nov). Inclusion and Integration week also takes place in November (7th – 14th) which provides an opportunity for DCSWP to highlight programmes that promote inclusion in sport. December 3rd marks International Day of People with Disabilities. DCSWP will be promoting ongoing programmes and initiatives that increase opportunities for people with intellectual, physical and sensory disabilities to partake in sport and physical activity.

Marathon Kids Final 2023

Finale of Marathon Kids 2023 programme. Participating schools (including schools from the North Central Area) will come together to finish their final mile in Santry Stadium and receive medals. Full details TBC.

Staffing News

As previously reported Sport Officer (x2) and Sport Inclusion and Integration Officer roles (x 2 three year temporary) were advertised in September. The shortlisting process is near completion with interviews to follow in mid-November.

Sport for Young People Small Grant Scheme 2023

170 applications were received from clubs across the city including the North Central Area (NCA). Sport Ireland Contribution for 2023 is €80,000. Remainder of allocation is from DCC. The assessment stage is now complete. The DCSWP Advisory Board noted the final list and allocation at the meeting of 24th October. Successful clubs have been notified (134). Average funding is between €500- €950). A number of clubs remain under review. A full list of NCA clubs can be provided for the committees' information on request.

Active Cities Update (Citywide)

- **Sim for Motorsport**

Please see previous report for programme information. The DCSWP/Active Cities (Dublin) programme continues and will conclude in November. In the NCA the programme continues in Árd De La Salle, Raheny. The programme will conclude on Tuesday 14th November City in City Hall with a final competition and highest qualifiers from each school receiving certificates of completion.

➤ **BoxUp**

The Boxup initiative continues in city parks offering free sporting equipment for members of the public to enjoy sport in DCC green spaces.

<https://www.dcswphub.ie/boxup-comes-to-ireland>

➤ **TravAct.**

In partnership with the HSE Health promotion teams, DCSWP is currently installing outdoor stencil play areas in locations identified by members of the TravAct community including the Darndale/Glin area in the NCA.

➤ **Active Cities Swimming/Yoga**

DCSWP, as part of the Active Cities (Dublin) programme, has funded swimming lessons and yoga classes for women living in the Aoibhneas shelter in Coolock. The Active Cities Officer is working with NCA Officer Fergal Scally on the initiative.

Social Media/Communication

All DCSWP highlighted programmes continue to be supported by social media channels and the DCSWP Virtual Hub.

➤ Dublin City Sport & Wellbeing Partnership Virtual Hub: www.dcswphub.ie

➤ Email: sports@dublincity.ie

➤ Twitter: [@dccsportsrec](https://twitter.com/dccsportsrec)

➤ Facebook: [DublinCitySportandWellbeing](https://www.facebook.com/DublinCitySportandWellbeing)

➤ Instagram: [@dublincitysportandwellbeing](https://www.instagram.com/dublincitysportandwellbeing)

North Central Area Ongoing Programmes November 2023

Underactive Communities:

Name of core programme:	Walk and Talk
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	Adult Fitness & Social Programme
Age group:	Adults age 18+ years
Gender:	Mixed
Date/time and location:	Ongoing. Every Monday at 10am in McCauley Park

Name of core programme:	Couch to 5K
DSCWP Sport Officer:	Fergal Scally/John McDonald
Description of programme activity:	Walking/Jogging Programme to assist participants in achieving their goal of completing a 5k run
Age group:	Adults age 18+ years
Gender:	Mixed
Date/time and location:	Maypark, Donnycarney every Wednesday. Elmfield Park, Donaghmede every Wednesday.

Name of core programme:	Aqua Aerobics (HSE Clients)
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	Moderate Exercise Swim Classes
Age group:	Adults age 18+ years
Gender:	Mixed
Date/time and location:	Coolock Swimming Pool

Name of core programme:	Pickleball Programme
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	Pickleball is a racket/paddle sport that was created by combining elements of several other racket sports including Tennis and Badminton
Age group:	18+ years
Gender:	Mixed
Date/time and location:	Ongoing. Every Friday. Kilmore Recreation Centre.

Name of core programme:	Swim Programme (general)
DSCWP Sport Officer:	Olivia Shattock
Age group:	All ages
Gender:	Mixed – this is a general swim programme involving lessons and classes
Date/time and location:	Ongoing. Coolock Swimming Pool.

Older Adult Programmes (age 55+ years)

Name of core programme:	Walking Football
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	FAI Adapted Football Programme
Age group:	55+years
Gender:	Mixed
Date/time and location:	Ongoing. Every Thursday in Rockfield Park.

Name of core programme:	Chair based Yoga & Mindfulness/Chair Based General Exercise Programme
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	Chair based yoga & mindfulness for general population
Age group:	Adults
Gender:	Inclusive to all genders
Date/time and location:	Ongoing. Every Wednesday at 2pm, Kilmore Recreation Centre (Yoga) Every Monday, Kilmore Recreation Centre. Time TBC

Name of core programme:	Active Retired
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	FAI Adapted Football Programme
Age group:	55+years
Gender:	Mixed
Date/time and location:	Ongoing. Every Thursday in Rockfield Park. Time TBC

Name of core programme:	Chair Fit
DSCWP Sport Officer:	John McDonald
Description of programme activity:	6 week seated exercise classes focusing on balance, coordination and strength targeting the 'Hamstead Go Getters', an active retirement group living in the Hamstead court Older persons unit. This is a partnership programme with the Community section in NCA
Age group:	55+years
Gender:	Mixed
Date/time and location:	Ongoing. Every Monday from 1pm, Hampstead Court, Dublin 11

Name of core programme:	Older Adults Multi-Sport NCA Programmes
DSCWP Sport Officer:	John McDonald
Description of programme activity:	6 Week Chair Yoga programme targeting communities in Greenfields Community Centre Santry. Six week multi-sport activity programme targeting member of Whitehall Active Retirement Association (WARA) and Larkhill Active Retirement Group Whitehall , Boules Group, Hamstead Court, Whitehall
Age group:	55+years
Gender:	Mixed
Date/time and location:	Ongoing

Name of core programme:	Active Retired Dance fit
DSCWP Sport Officer:	Fergal Scally
Description of programme activity:	Gentle dance routines performed to music focusing on coordination and balance
Age group:	55+years
Gender:	Mixed
Date/time and location:	Ongoing. Every Tuesday. Artane/Beaumont Family Resource Centre

Name of core programme:	Men's Fitness Programme
DSCWP Sport Officer:	Olivia Shattock
Description of programme activity:	General Fitness Class
Age group:	55+years
Gender:	Male
Date/time and location:	Ongoing. Every Thursday. Priorswood/ Clonshaugh/ Glin/ Coolock Centres

Name of core programme:	Older Adult Functional Fitness
DSCWP Sport Officer:	John Sweeney
Description of programme activity:	Chair Exercise Older Adult community programme
Age group:	60+ years
Gender:	Mixed
Date/time and location:	Ongoing every Tuesday. Clontarf & Ballybough Centres. Kilbarrack Group (Details TBC)

Name of core programme:	Older Adult Walking Group
DSCWP Sport Officer:	John Sweeney
Description of programme activity:	Active Age Walking Group
Age group:	60+ years
Gender:	Mixed
Date/time and location:	Ongoing. Every Tuesday. Raheny area

Name of core programme:	Older Adult Multi-Pickle Ball Group
DSCWP Sport Officer:	Olivia Shattock
Description of programme activity:	New programme introducing the sport to older adults
Age group:	55+ years
Gender:	Mixed
Date/time and location:	Ongoing. Details to be confirmed by Sport Officer

Name of core programme:	Older Adults – Boules & Social Programme
DSCWP Sport Officer:	Fergal Scally/Olivia Shattock
Description of programme activity:	Boules Social Sessions

Age group:	55+ years
Gender:	Mixed
Date/time and location:	Ongoing every Monday at 11.00am in Rockfield Park
Name of core programme:	Older Adults - Aqua Aerobics Programme
DSCWP Sport Officer:	Olivia Shattock
Description of programme activity:	Pool based exercise classes
Age group:	55+ years
Gender:	Female
Date/time and location:	Ongoing every Thursday from 11am.Coolock Swimming Pool
Name of core programme:	Older Adults - Chair Aerobics Programme
DSCWP Sport Officer:	Olivia Shattock
Partners:	Edenmore Active Age Group
Age group:	55+ years
Gender:	Female
Name of core programme:	Older Adults - Chair Aerobics Programme
DSCWP Sport Officer:	Olivia Shattock

Partners:	Priorswood Pastoral Active Age Group
Age group:	55+ years
Gender:	Female
Date/time and location:	Ongoing every Wednesday from 9.30am
Name of core programme:	Chair Exercise Class Killester
DSCWP Sport Officer:	John Sweeney
Description of programme activity:	Chair based fitness programme
Partners:	Kilbarrack Active Retirement
Age group:	70+ years
Gender:	Mixed
Date/time and location:	Ongoing every Wednesday from 2.30pm. Foxfield St. John Centre

Get All Girls Active (GAGA)/Women In Sport

Name of core programme:	Trinity Research Programme
DSCWP Sport Officer:	Fergal Scally
Age group:	18+ years
Gender:	Female
Date/time and location:	Ongoing. 12 week multi-fitness initiative aimed at teenage girls in Mercy Secondary School, Beaumont. Programme includes dance fitness and resistance classes. Researching what factors influence participation in physical activity

Youth at Risk (10-24 years) - Aimed at providing viable opportunities for young people in the NCA to stay active and thereby mitigate anti-social behaviour). All programmes are delivered in partnership with local NCA groups and Youth Services.

Name of Core programme:	Youth At Risk Primary School Swimming
Description of programme activity:	Swimming Lessons aimed at young people age 7-13 years in Kilmore and Artane Area
Partners):	DCSWP Co-Funded Swimming Officer/Swimming Ireland
Gender:	Mixed
Date/time and location's	Ongoing. Coolock Swimming Pool.

Name of core programme:	Youth At Risk Teen Health & Fitness Programme
DSCWP Sport Officer:	John Sweeney
Description of programme activity:	General Fitness Programme delivered in St. Mary's Holy Faith, Killester
Gender:	Mixed
Date/time and location:	Ongoing in local schools

Sport Inclusion & Integration – Individuals with Physical, Intellectual and Sensory Disabilities, Ethnic and Minority Groups

Inclusion programmes will be showcased and highlighted during Inclusion week 6th – 12th November The following programmes are delivered on a citywide basis and include partners and participants from the NCA:

Name of programme:	Yoga Programme
Description of programme activity :	Inclusive Yoga. Aimed at Sporting Pride LGBTQ + community.

Name of programme:	Bravo Volleyball Club
Description of programme activity :	Club development aimed at supporting members of the LGBTQ+ community.
Name of programme:	Shelbourne Football For All Programme
Description of programme activity :	Programme aimed at service users from multiple services age 16+ years experiencing mental health difficulties.

Name of programme:	Ukrainian Crisis Centre Winter Programme
Description of programme activity :	Multi-sport initiative aimed at all ages. Delivered in partnership with emergency/housing services etc. Takes place in St. Catherine's Sport & Fitness Centre every Wednesday in November/December

Name of programme:	Sim 4 STEM Motorsports Female Programme
Description of programme activity :	See start of report. DCC/DCSWP initiative as part of Active Cities, Dublin.

Health Improvement in the Community

- St Vincent's Forever Fit - Chair aerobics exercise programme for older adult residents at St Vincent's Hospital, Fairview (residents only) every Friday from 11am
- St. Vincent's Holistic Health – aimed at adults with mental health challenges. Every Friday 10.15am - St Vincent's Hospital Fairview D3
- Men on The Move, Coolock – this programme is a fitness/exercise and nutrition programme aimed at male's age 60+ years. In the NCA it is delivered in Glin Road. Centre, Coolock every Tuesday and Friday from 11am.

DCSWP North Central Area Co-Funded Programmes - Athletics/Boxing/Cricket/Rowing/Rugby/Swimming

Athletics in the Community

Couch to 3/5k and walking community programmes continue in the SCA in partnership with the Co-funded Athletics Officers. Officers continue to engage with schools in the Daily Mile and school track and field programmes such as training for schools cross country 2024.

Athletics programmes continue in the following NCA schools:

- St. Mary's, Kilbarrack
- St. Benedict's, Kilbarrack

Boxing in the Community

The **Startbox** Initiative, a partnership between the IABA and Dublin City Sport & Wellbeing Partnership, is structured into Bronze (non contact), Silver and Gold phases. The first phase focuses on general strength & fitness, method and technique. The Silver Programme consists of higher intensity sessions & limited contact and the Gold phase takes it to another level (combination of first two levels and progression to contact). The programme has expanded over the years to include young participants from 7 – 10 years (second class +)

The following NCA schools continue to participate in the programme in November:

- Scoil Áine, Raheny (3 Classes)
- St David's, BNS Artane (2 Classes)
- St. David's, Artane (3 Classes)
- Our Lady of Consolation, Donnycarney (2 Classes)
- Scoil Assaim BNS, Raheny

Scoil Chiarain, Donnycarney progresses to the Silver and Gold Startbox Programs in October and November. Showcase Finals will take place in December.

Cricket in the Community

The DCSWP Cricket Officer will continue to support inclusive programmes and engage with following primary local schools in November/December in softball cricket sessions. The programme introduces young people age 8-13 years to cricket.

Schoolyard/Softball Cricket Sessions

- Dominican College, Griffith Avenue every Wednesday from 11am (female)
- Holy Child, Whitehall every Wednesday from 11.00am (mixed)
- Belmayne ETSS every Monday from 11am (mixed)

Football in the Community

- Walking football aimed at Older Adults continues
- Football for All (disability), grassroots school and club programmes continue in the NCA
- Women in football initiatives and club engagement are ongoing. In the NCA the FAI Development Officer continues to work with AUL (Girl's Centre of Excellence/UEFA C Licence)
- Raheny United (Governance, Safeguarding, Coaching for parents working with young people 10-16 years), Home Farm (coaching course for parents working with 10-16 years)
- St. Paul's College Raheny, (PDP 1), Clontarf FC (Safeguarding 1) Trinity Donaghmede FC (PDP 2 & 3) and Killester Donnycarney FC (PDP 3)..

Rugby in the Community

Tag Rugby

Tag Rugby sessions are currently being delivered in the following NCA primary schools:

- St. Brendan's BNS, Artane (male, 4th class)
- Scoil Fhursa, Kilmore (male, 3rd class)
- Gaelscoil, Cholmcille, Kilmore (mixed, 6th class)
- Springdale NS, Edenmore (mixed, 6th class)

Contact Rugby

- Junior full contact rugby sessions in Chanel Catholic College, Coolock (male, 2nd and 3rd year)
- Senior full contact rugby sessions in Mount Temple Comprehensive, Clontarf (mixed, 1st and 2nd year)
- Senior full contact rugby sessions in St. Mary's Holy Faith, Killester (female, 2nd year)

Coaching

TY five-week coaching programme in St. Mary's Holy Faith, Killester

Rowing in the Community

The Get Going Get Rowing indoor rowing school programme continues. In the NCA the programme will be delivered in St. Mary's Holy Faith, Killester every Monday aimed at 1st year and TY level.

Swimming in the Community (citywide)

DCC/DCSWP appointed a Co-funded Swimming Ireland Development Officer in 2022 to increase opportunities for everyone in our communities to get involved with swimming and enjoy the benefits of water based physical activities

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Men's wellness, female wellness, Foróige, Foundations youth project and Vision Sports swim programmes continue in Sean McDermott swimming pool. In the NCA Coolock swimming pool facilitates the Men's Shed 'Lean To Swim' programme.

Ongoing Training for 2023

- Safeguarding 1,2 & 3 (delivered on an on-demand basis)

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